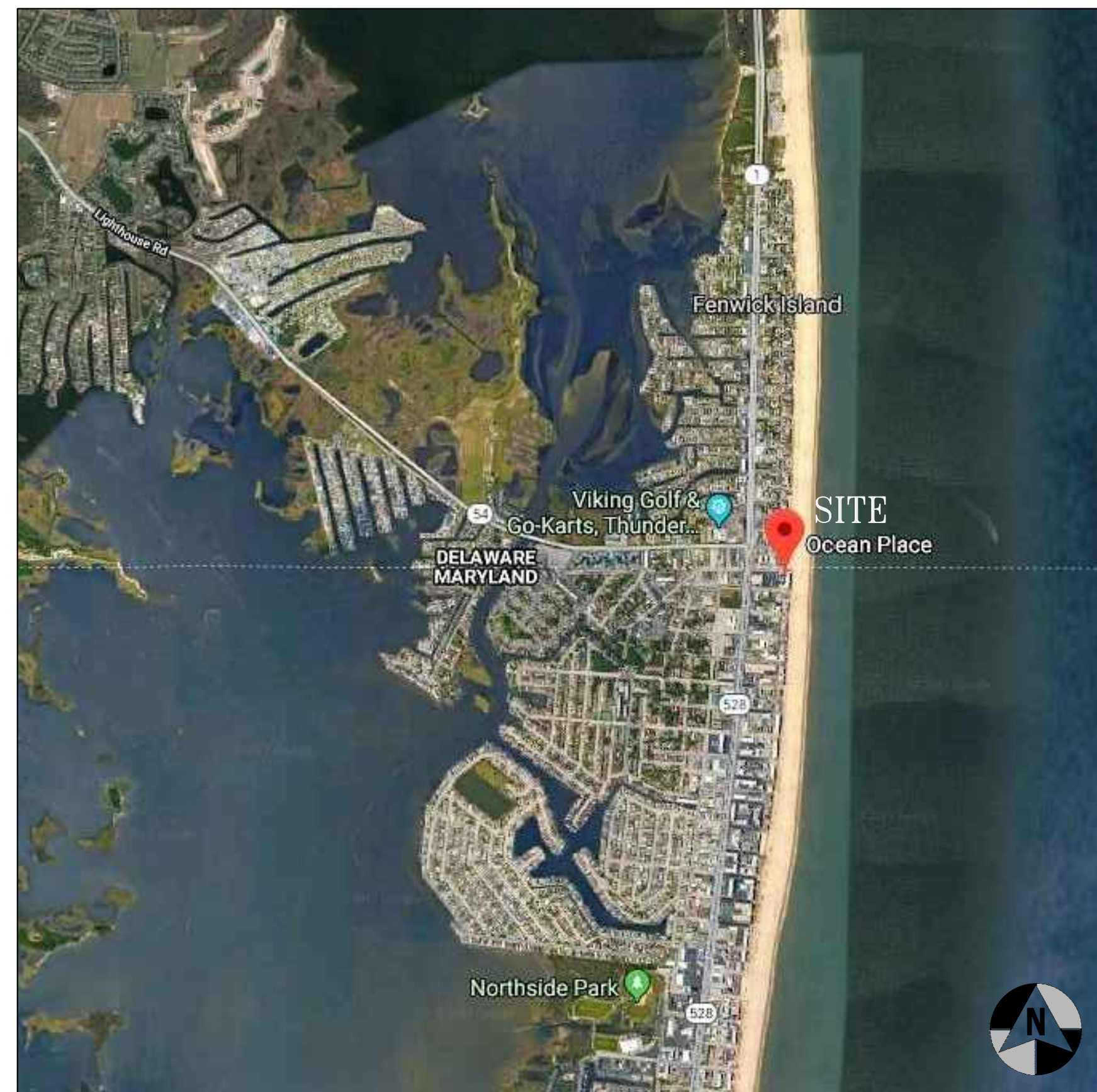
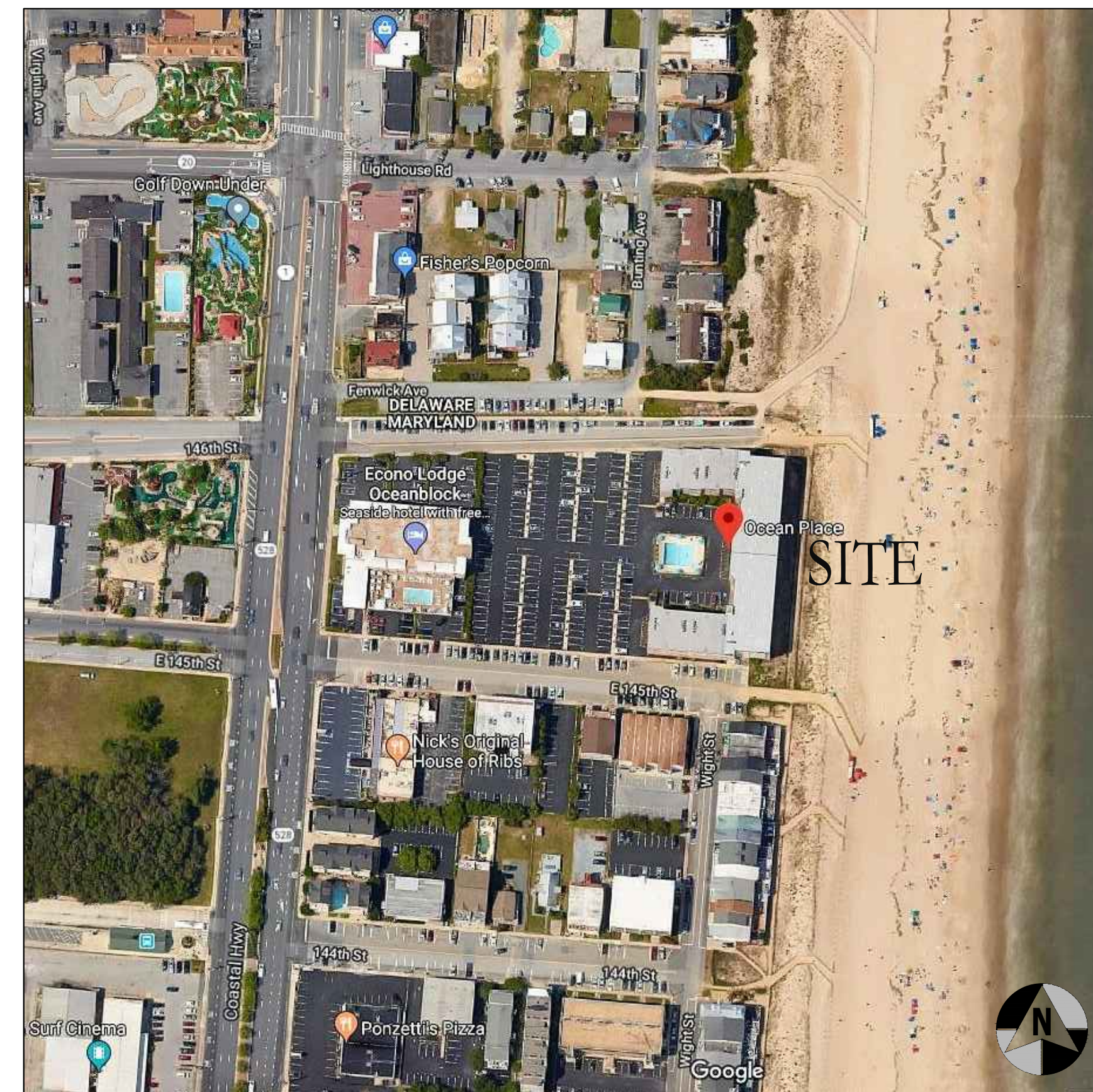


# FACADE RESTORATION OCEAN PLACE CONDOMINIUM

14500 WIGHT STREET  
OCEAN CITY, MD 21842



REGIONAL MAP



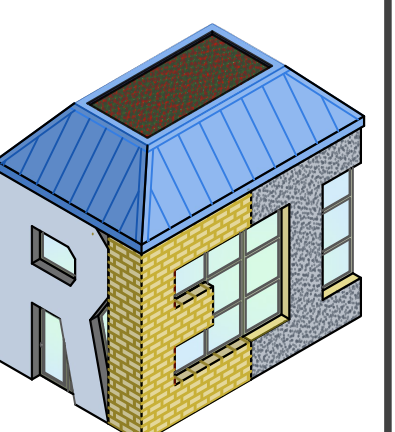
VICINITY MAP



ELEVATION PHOTO

#	DATE	SUBMISSION/REVISION
01	05/25/2018	BID SET
02	06/13/2018	ADDENDUM 03 REVISIONS
03	09/24/2018	REVISED BID SET

FACADE RESTORATION  
OCEAN PLACE CONDOMINIUM  
14500 WIGHT STREET  
OCEAN CITY, MARYLAND 21842



DATE	DESCRIPTION
09/24/18	REV. BID SET
REV. 342.004	MACAS NOTED

C-1.0  
1 OF 9

**PHASE 1**

- A. REMOVE EXISTING EIFS, WINDOWS, AND RAILINGS.
- B. REPLACE ALL SEALANT JOINTS.
- C. REMOVE ALL BALCONY & WINDOW SHUTTERS. DO NOT REMOVE SLIDING GLASS DOOR SHUTTERS.
- D. REMOVE ALL TILE GROUT AND SETTING BED COVERING CONCRETE BALCONIES.
- E. REPAIR/REPLACE DETERIORATED STUCCO INSIDE BALCONY AREAS.
- F. INSTALL SILICONE ELASTOMERIC COATING TO ALL STUCCO WALLS.
- G. INSTALL NEW DRAINABLE EIFS WITH SECONDARY BARRIER AT ALL WALLS, EXCEPT INSIDE BALCONY AREAS. AT NORTH & SOUTH ELEVATIONS, USE ULTRA-HIGH IMPACT MESH FROM GRADE TO 4TH FLOOR LINE.
- H. INSTALL NEW COMBINATION (OPERABLE-FIXED-OPERABLE), ALUMINUM WINDOWS WITH STANDARD GLAZING (EXCEPT TEMPERED WHERE REQUIRED). SEE SPECIFICATION SECTION 085113-ALUMINUM WINDOWS.
- I. FULLY REMOVE EXISTING DECK COATINGS.
- J. REPAIR CONCRETE BALCONIES AND SUPPORTING CONCRETE BEAMS.
- K. INSTALL A URETHANE TRAFFIC COATING TO WALKING SURFACE OF ALL BALCONIES.
- L. INSTALL A BREATHABLE ACRYLIC COATING TO EDGES AND UNDERSIDES OF ALL BALCONIES AND SUPPORTING BEAMS.
- M. INSTALL NEW ALUMINUM RAILINGS.
- N. INSTALL NEW LIGHT FIXTURES.
- O. ADD ALTERNATE 1A: INSTALL IMPACT RESISTANT GLAZING IN ALL WINDOWS IN LIEU OF STANDARD GLAZING.
- P. ADD ALTERNATE 1B: INSTALL NEW ALUMINUM, VERTICAL ROLLING, HURRICANE SHUTTERS AT NEW WINDOWS AND SLIDING GLASS DOORS ON A UNIT PRICE BASIS.
- Q. ADD ALTERNATE 1C: INSTALL NEW ALUMINUM, SLIDING GLASS DOORS AT BALCONIES ON A UNIT PRICE BASIS.
- R. ADD ALTERNATE 1E: INSTALL NEW ALUMINUM BALCONY SHUTTERS AT EDGES OF BALCONIES ON A UNIT PRICE BASIS.
- S. ADD ALTERNATE 1F: INSTALL NEW FIBERGLASS AIR CONDITIONING SLEEVES WITH STAINLESS STEEL GRILLS AND MATCHING FIBERGLASS OFF-SEASON COVERS.

**PHASE 2**

- A. REMOVE EXISTING EIFS, WINDOWS, AND STAIR RAILINGS.
- B. REPLACE ALL SEALANT JOINTS.
- C. REPAIR/REPLACE DETERIORATED STUCCO INSIDE STAIRWAY SHEAR WALLS ONLY.
- D. INSTALL SILICONE ELASTOMERIC COATING TO ALL STUCCO WALLS.
- E. INSTALL NEW DRAINABLE EIFS WITH SECONDARY BARRIER AT ALL WALLS, EXCEPT INSIDE WEST STAIRS. AT THE WEST ELEVATION, SOUTH ELEVATION OF THE NORTH STAIR TOWER, AND NORTH ELEVATION OF THE SOUTH STAIR TOWER, USE ULTRA-HIGH IMPACT MESH FROM GRADE TO 4TH FLOOR LINE.
- F. INSTALL TWO NEW EIFS BUILDING SIGNS.
- G. INSTALL NEW HORIZONTAL SLIDING, ALUMINUM WINDOWS WITH STANDARD GLAZING (EXCEPT TEMPERED WHERE REQUIRED). SEE SPECIFICATION SECTION 085113-ALUMINUM WINDOWS.
- H. FULLY REMOVE EXISTING COATING ON SURFACE OF STAIRS AND LANDINGS (IF ANY).
- I. REPAIR CONCRETE STAIRS AND LANDINGS.
- J. INSTALL A URETHANE TRAFFIC COATING TO WALKING SURFACE OF ALL STAIRS AND LANDINGS, INCLUDING STAIR RISERS.
- K. INSTALL A BREATHABLE ACRYLIC COATING TO EDGES AND UNDERSIDES OF ALL STAIRS AND LANDINGS.
- L. INSTALL NEW ALUMINUM RAILINGS AT STAIR FLIGHTS AND LANDINGS.
- M. ADD ALTERNATE 2A: INSTALL IMPACT RESISTANT GLAZING IN ALL WINDOWS IN LIEU OF STANDARD GLAZING.
- N. ADD ALTERNATE 2B: INSTALL NEW ALUMINUM, VERTICAL ROLLING, HURRICANE SHUTTERS AT NEW WINDOWS AND SLIDING GLASS DOORS ON A UNIT PRICE BASIS.

**PHASE 3**

- A. REMOVE EXISTING RAILINGS.
- B. REPLACE ALL SEALANT JOINTS.
- C. REPAIR/REPLACE DETERIORATED STUCCO WALLS.
- D. INSTALL SILICONE ELASTOMERIC COATING TO ALL STUCCO WALLS.
- E. FULLY REMOVE EXISTING DECK COATINGS.
- F. REPAIR CONCRETE BALCONIES AND SUPPORTING CONCRETE BEAMS.
- G. INSTALL A URETHANE TRAFFIC COATING TO WALKING SURFACE OF ALL BALCONIES.
- H. INSTALL A BREATHABLE ACRYLIC COATING TO EDGES AND UNDERSIDES OF ALL BALCONIES AND SUPPORTING BEAMS.
- I. INSTALL NEW ALUMINUM RAILINGS AND BALCONY DIVIDERS.
- J. INSTALL NEW LIGHT FIXTURES.
- K. INSTALL NEW FOUNDATION VENTS.
- L. ADD ALTERNATE 3C: INSTALL NEW ALUMINUM, SLIDING GLASS DOORS AT BALCONIES ON A UNIT PRICE BASIS.
- M. ADD ALTERNATE 3D: INSTALL NEW ALUMINUM, VERTICAL ROLLING, HURRICANE SHUTTERS AT DOORS (NEW OR EXISTING) ON A UNIT PRICE BASIS.
- N. ADD ALTERNATE 3E: INSTALL NEW DRAINABLE EIFS WITH SECONDARY BARRIER AT ALL WALLS.

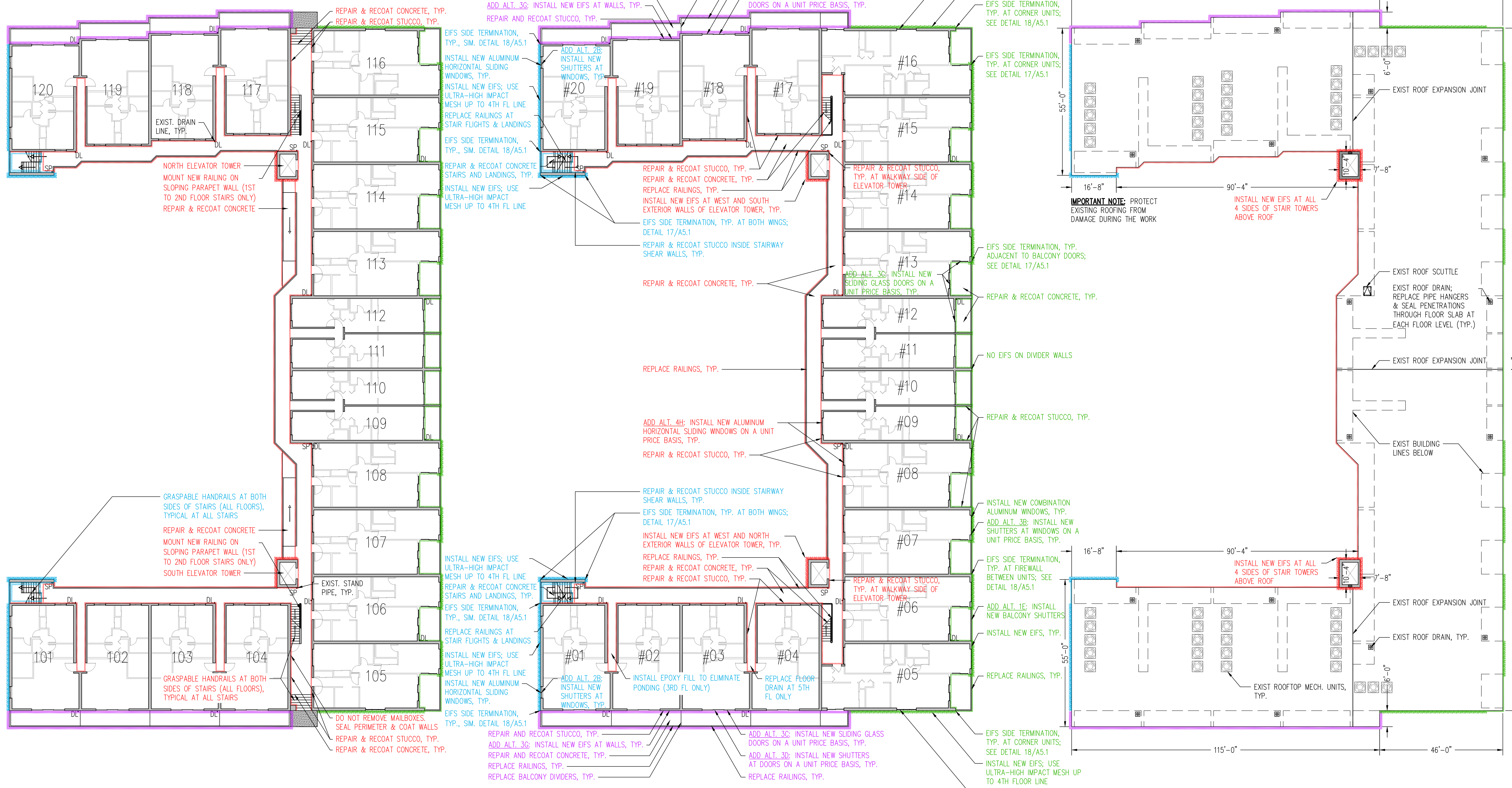
**PHASE 4**

- A. REMOVE EXISTING RAILINGS.
- B. REPLACE ALL SEALANT JOINTS.
- C. REPAIR/REPLACE DETERIORATED STUCCO WALLS, INCLUDING BUILDING WALLS INSIDE WEST STAIRWAYS AND WALKWAY SIDES OF BOTH ELEVATOR TOWERS.
- D. INSTALL SILICONE ELASTOMERIC COATING TO ALL STUCCO WALLS INCLUDING PRIVATE WALKWAYS TO UNITS 01, 02, 03, 04, 09, 10, 11, 12, 17, 18, 19, AND 20.
- E. INSTALL NEW DRAINABLE EIFS WITH SECONDARY BARRIER AT SOUTH AND WEST WALLS OF NORTH ELEVATOR TOWER, AND NORTH AND WEST WALLS OF SOUTH ELEVATOR TOWER. ABOVE THE ROOF LINE, INSTALL EIFS ON ALL FOUR SIDES OF BOTH TOWERS.
- F. FULLY REMOVE EXISTING DECK COATINGS.
- G. REPAIR CONCRETE WALKWAYS, RAMPS, EAST STAIRWAYS AND SUPPORTING CONCRETE BEAMS.
- H. INSTALL A URETHANE TRAFFIC COATING TO WALKING SURFACE OF ALL BALCONIES, WALKWAYS, RAMPS, AND EAST STAIRWAYS.
- I. INSTALL A BREATHABLE ACRYLIC COATING TO EDGES AND UNDERSIDES OF ALL WALKWAYS, STAIRS AND SUPPORTING BEAMS.
- J. INSTALL NEW ALUMINUM RAILINGS.
- K. REMOVE AND REINSTALL UNIT IDENTIFICATION PLACARDS.
- L. INSTALL NEW LIGHT FIXTURES, EXIT SIGNS, AND FIRE EXTINGUISHER BOXES.
- M. INSTALL NEW FOUNDATION VENTS.
- N. ADD ALTERNATE 4E: INSTALL NEW FIBERGLASS AIR CONDITIONING SLEEVES WITH STAINLESS STEEL GRILLS AND MATCHING FIBERGLASS OFF-SEASON COVERS.
- O. ADD ALTERNATE 4H: INSTALL NEW ALUMINUM, HORIZONTAL SLIDING WINDOWS AT WALKWAYS ON A UNIT PRICE BASIS.

**GENERAL NOTES**

1. ALL ITEMS LABELED "EXISTING" OR "EXISTING TO REMAIN" CONSTITUTE EXISTING CONSTRUCTION THAT SHALL REMAIN IN PLACE UNDISTURBED. UNLESS OTHERWISE NOTED, ALL OTHER ITEMS ARE TO BE INSTALLED NEW BY THE CONTRACTOR.
2. CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS. NOTIFY ENGINEER IMMEDIATELY IF ACTUAL DIMENSIONS VARY FROM THOSE SHOWN ON THESE DRAWINGS.
3. COLORS SHOWN ON DRAWINGS ARE REPRESENTATIVE. COLORS AND TEXTURES ARE TO BE SELECTED BY OWNER.
4. ALL FASTENERS/HARDWARE SECURING OR PENETRATING TREATED WOOD SHALL BE STAINLESS STEEL.
5. SIZE OF SHEET METAL FABRICATIONS SHOWN ARE NOMINAL AND MAY VARY. CONTRACTOR MUST FIELD MEASURE AT EACH LOCATION AND CUSTOM FABRICATE FLASHINGS TO ENSURE AN ACCURATE FIT. DIFFERENT SIZES WILL BE REQUIRED FOR FLASHINGS THAT MAY APPEAR TO BE SIMILAR.
6. HEM ALL EXPOSED CUT EDGES OF SHEET METAL FLASHINGS, ESPECIALLY WHERE THESE ITEMS ARE EXPOSED TO BUILDING RESIDENTS. PROPERLY PREPARE AND PAINT STAINLESS STEEL FLASHINGS IN THE SHOP TO THE GREATEST EXTENT POSSIBLE, WHERE REQUIRED.
7. ALL EXTERIOR SEALANT IS TO BE REMOVED AND REPLACED PRIOR TO INSTALLING NEW EIFS. TYPICAL JOINTS TO BE RESEALED INCLUDE, BUT ARE NOT LIMITED TO: HORIZONTAL AND VERTICAL MASONRY CONTROL JOINTS; PERIMETERS OF WINDOWS, DOORS, AND OTHER LOCATIONS. SEE DETAILS FOR FURTHER INFORMATION.
8. JOINTS TO BE RE-SEALED WILL REQUIRE FULL REMOVAL OF EXISTING SEALANT, BACKER ROD AND OTHER MATERIAL FROM WITHIN THE JOINTS. PRIOR TO INSTALLATION OF NEW MATERIALS, VERIFY THAT ALL JOINTS ARE CLEARED AND THE SURFACES PREPARED IN ACCORDANCE WITH THE SEALANT MANUFACTURER'S GUIDELINES.
9. INSTALL SEALANT JOINTS IN ACCORDANCE WITH DETAIL 1/A5.1.
10. NEATLY INSTALL SEALANT JOINTS AT ALL EXPOSED FLASHINGS. CONCEAL SEALANT WHERE SHOWN ON DRAWINGS, AND TO THE GREATEST EXTENT POSSIBLE.
11. ALL ITEMS MOUNTED TO THE BUILDING FACADE MAY NOT BE SHOWN. REMOVE AND REINSTALL ALL SUCH ITEMS IN ACCORDANCE WITH THE COATING OR EIFS MANUFACTURER'S RECOMMENDATIONS AND APPROVED SHOP DRAWINGS. WHERE IMPRACTICAL TO REMOVE ITEMS, PROVIDE DETAILED SHOP DRAWINGS FOR EIFS INSTALLATION AROUND THESE ITEMS TO ENSURE LEAKPROOF PERFORMANCE.
12. ALL EIFS INSULATION BOARDS MUST BE BACK-WRAPPED BEFORE APPLICATION TO THE BUILDING TO ENSURE THAT REINFORCING MESH IS FULLY ENCAPSULATED IN BASE COAT.
13. INSTALL ULTRA-HIGH IMPACT RESISTANT EIFS WITHIN ONE FLOOR OF GRADE AND WALKING SURFACES. INSTALL STANDARD IMPACT RESISTANT EIFS AT ALL OTHER LOCATIONS.
14. INSTALL HORIZONTAL EXPANSION JOINTS IN NEW EIFS AT EACH FLOOR LEVEL IN ACCORDANCE WITH DETAIL 13/A5.1.
15. INSTALL VERTICAL EXPANSION JOINTS IN NEW EIFS WHERE REQUIRED BY EIFS MANUFACTURER IN ACCORDANCE WITH DETAIL 15/A5.1.
16. REPAIR DAMAGED CONCRETE AT WALKWAY EDGES IN ACCORDANCE WITH WORK CODE RIC (DETAIL 2/A5.1).
17. REPAIR DAMAGED TOP/HORIZONTAL CONCRETE IN ACCORDANCE WITH WORK CODE R2C (DETAIL 3/A5.1).
18. REPAIR DAMAGED VERTICAL/OVERHEAD CONCRETE IN ACCORDANCE WITH WORK CODE R3C (DETAIL 4/A5.1).
19. REPAIR DAMAGED STUCCO IN ACCORDANCE WITH WORK CODE R1ST (DETAILS 7/A5.1 AND 8/A5.1).
20. TERMINATE NEW EIFS IN ACCORDANCE WITH DETAILS 12/A5.1, 14/A5.1, 16/A5.1, 17/A5.1, AND 18/A5.1.
21. COAT CONCRETE WALKING SURFACES WITH A URETHANE WATERPROOFING MEMBRANE, WHERE INDICATED.
22. COAT ALL OVERHEAD CONCRETE SURFACES AND SLAB EDGES WITH BREATHABLE ACRYLIC COATING, WHERE INDICATED.
23. COAT STUCCO WALLS WITH SILICONE ELASTOMERIC COATING, WHERE INDICATED.
24. COAT STUCCO WALLS WITH SILICONE ELASTOMERIC COATING, WHERE INDICATED.

LOCATIONS WHERE NEW EIFS IS TO BE INSTALLED



1 FIRST FLOOR PLAN  
1/16" = 1'-0"

2 TYPICAL FLOOR PLAN, 2nd-5th FLOORS  
1/16" = 1'-0"

3 ROOF PLAN  
1/16" = 1'-0"

#	DATE	SUBMISSION/REVISION
01	05/25/2018	BID SET
02	06/13/2018	ADDENDUM 03 REVISIONS
03	09/24/2018	REVISED BID SET

**FACADE RESTORATION**  
OCEAN PLACE CONDOMINIUM  
14500 WIGHT STREET  
OCEAN CITY, MARYLAND 21842

**RESTORATION ENGINEERING, INC.**  
19020 WOODBINE DRIVE #104  
FARMERSVILLE, VA 22030

PLANS  
09/24/18 REV. BID SET  
REV. MACAS NOTED  
342.004

**A-1.0**  
2 OF 9

**PHASE 1**

- A. REMOVE EXISTING EIFS, WINDOWS, AND RAILINGS.
- B. REPLACE ALL SEALANT JOINTS.
- C. REMOVE ALL BALCONY & WINDOW SHUTTERS. DO NOT REMOVE SLIDING GLASS DOOR SHUTTERS.
- D. REMOVE ALL TILE GROUT AND SETTING BED COVERING CONCRETE BALCONIES.
- E. REPAIR/REPLACE DETERIORATED STUCCO INSIDE BALCONY AREAS.
- F. INSTALL SILICONE ELASTOMERIC COATING TO ALL STUCCO WALLS.
- G. INSTALL NEW DRAINABLE EIFS WITH SECONDARY BARRIER AT ALL WALLS, EXCEPT INSIDE BALCONY AREAS. AT NORTH & SOUTH ELEVATIONS, USE ULTRA-HIGH IMPACT MESH FROM GRADE TO 4TH FLOOR LINE.
- H. INSTALL NEW COMBINATION (OPERABLE-FIXED-OPERABLE), ALUMINUM WINDOWS WITH STANDARD GLAZING (EXCEPT TEMPERED WHERE REQUIRED). SEE SPECIFICATION SECTION 085113-ALUMINUM WINDOWS.
- I. FULLY REMOVE EXISTING DECK COATINGS.
- J. REPAIR CONCRETE BALCONIES AND SUPPORTING CONCRETE BEAMS.
- K. INSTALL A URETHANE TRAFFIC COATING TO WALKING SURFACE OF ALL BALCONIES.
- L. INSTALL A BREATHABLE ACRYLIC COATING TO EDGES AND UNDERSIDES OF ALL BALCONIES AND SUPPORTING BEAMS.
- M. INSTALL NEW ALUMINUM RAILINGS.
- N. ADD ALTERNATE 1A: INSTALL IMPACT RESISTANT GLAZING IN ALL WINDOWS IN LIEU OF STANDARD GLAZING.
- O. ADD ALTERNATE 1B: INSTALL NEW ALUMINUM, VERTICAL ROLLING, HURRICANE SHUTTERS AT NEW WINDOWS AND SLIDING GLASS DOORS ON A UNIT PRICE BASIS.
- P. ADD ALTERNATE 1C: INSTALL NEW ALUMINUM, SLIDING GLASS DOORS AT BALCONIES ON A UNIT PRICE BASIS.
- Q. ADD ALTERNATE 1E: INSTALL NEW ALUMINUM BALCONY SHUTTERS AT EDGES OF BALCONIES ON A UNIT PRICE BASIS.
- R. ADD ALTERNATE 1F: INSTALL NEW FIBERGLASS AIR CONDITIONING SLEEVES WITH STAINLESS STEEL GRILLS AND MATCHING FIBERGLASS OFF-SEASON COVERS.

**PHASE 2**

- A. REMOVE EXISTING EIFS, WINDOWS, AND STAIR RAILINGS.
- B. REPLACE ALL SEALANT JOINTS.
- C. REPAIR/REPLACE DETERIORATED STUCCO INSIDE STAIRWAY SHEAR WALLS ONLY.
- D. INSTALL SILICONE ELASTOMERIC COATING TO ALL STUCCO WALLS.
- E. INSTALL NEW DRAINABLE EIFS WITH SECONDARY BARRIER AT THE WEST ELEVATION, SOUTH ELEVATION OF THE NORTH STAIR TOWER, AND NORTH ELEVATION OF THE SOUTH STAIR TOWER. USE ULTRA-HIGH IMPACT MESH FROM GRADE TO 4TH FLOOR LINE.
- F. INSTALL TWO NEW EIFS BUILDING SIGNS.
- G. INSTALL NEW HORIZONTAL SLIDING, ALUMINUM WINDOWS WITH STANDARD GLAZING (EXCEPT TEMPERED WHERE REQUIRED). SEE SPECIFICATION SECTION 085113-ALUMINUM WINDOWS.
- H. FULLY REMOVE EXISTING COATING ON SURFACE OF STAIRS AND LANDINGS (IF ANY).
- I. REPAIR CONCRETE STAIRS AND LANDINGS.
- J. INSTALL A URETHANE TRAFFIC COATING TO WALKING SURFACE OF ALL STAIRS AND LANDINGS, INCLUDING STAIR RISERS.
- K. INSTALL A BREATHABLE ACRYLIC COATING TO EDGES AND UNDERSIDES OF ALL STAIRS AND LANDINGS.
- L. INSTALL NEW ALUMINUM RAILINGS AT STAIR FLIGHTS AND LANDINGS.
- M. ADD ALTERNATE 2A: INSTALL IMPACT RESISTANT GLAZING IN ALL WINDOWS IN LIEU OF STANDARD GLAZING.
- N. ADD ALTERNATE 2B: INSTALL NEW ALUMINUM, VERTICAL ROLLING, HURRICANE SHUTTERS AT NEW WINDOWS AND SLIDING GLASS DOORS ON A UNIT PRICE BASIS.

**PHASE 3**

- A. REMOVE EXISTING RAILINGS.
- B. REPLACE ALL SEALANT JOINTS.
- C. REPAIR/REPLACE DETERIORATED STUCCO WALLS.
- D. INSTALL SILICONE ELASTOMERIC COATING TO ALL STUCCO WALLS.
- E. FULLY REMOVE EXISTING DECK COATINGS.
- F. REPAIR CONCRETE BALCONIES AND SUPPORTING CONCRETE BEAMS.
- G. INSTALL A URETHANE TRAFFIC COATING TO WALKING SURFACE OF ALL BALCONIES.
- H. INSTALL A BREATHABLE ACRYLIC COATING TO EDGES AND UNDERSIDES OF ALL BALCONIES AND SUPPORTING BEAMS.
- I. INSTALL NEW ALUMINUM RAILINGS AND BALCONY DIVIDERS.
- J. INSTALL NEW LIGHT FIXTURES.
- K. INSTALL NEW FOUNDATION VENTS.
- L. ADD ALTERNATE 3C: INSTALL NEW ALUMINUM, SLIDING GLASS DOORS AT BALCONIES ON A UNIT PRICE BASIS.
- M. ADD ALTERNATE 3D: INSTALL NEW ALUMINUM, VERTICAL ROLLING, HURRICANE SHUTTERS AT DOORS (NEW OR EXISTING) ON A UNIT PRICE BASIS.
- N. ADD ALTERNATE 3E: INSTALL NEW DRAINABLE EIFS WITH SECONDARY BARRIER AT ALL WALLS.

**PHASE 4**

- A. REMOVE EXISTING RAILINGS.
- B. REPLACE ALL SEALANT JOINTS.
- C. REPAIR/REPLACE DETERIORATED STUCCO WALLS, INCLUDING BUILDING WALLS INSIDE WEST STAIRWAYS AND WALKWAY SIDES OF BOTH ELEVATOR TOWERS.
- D. INSTALL SILICONE ELASTOMERIC COATING TO ALL STUCCO WALLS INCLUDING PRIVATE WALKWAYS TO UNITS 01, 02, 03, 04, 09, 10, 11, 12, 17, 18, 19, AND 20.
- E. INSTALL NEW DRAINABLE EIFS WITH SECONDARY BARRIER AT SOUTH AND WEST WALLS OF NORTH ELEVATOR TOWER, AND NORTH AND WEST WALLS OF SOUTH ELEVATOR TOWER. ABOVE THE ROOF LINE, INSTALL EIFS ON ALL FOUR SIDES OF BOTH TOWERS.
- F. FULLY REMOVE EXISTING DECK COATINGS.
- G. REPAIR CONCRETE WALKWAYS, RAMPS, EAST STAIRWAYS AND SUPPORTING CONCRETE BEAMS.
- H. INSTALL A URETHANE TRAFFIC COATING TO WALKING SURFACE OF ALL BALCONIES, WALKWAYS, RAMPS, AND EAST STAIRWAYS.
- I. INSTALL A BREATHABLE ACRYLIC COATING TO EDGES AND UNDERSIDES OF ALL WALKWAYS, STAIRS AND SUPPORTING BEAMS.
- J. INSTALL NEW ALUMINUM RAILINGS.
- K. REMOVE AND REINSTALL UNIT IDENTIFICATION PLACARDS.
- L. INSTALL NEW LIGHT FIXTURES, EXIT SIGNS, AND FIRE EXTINGUISHER BOXES.
- M. INSTALL NEW FOUNDATION VENTS.
- N. ADD ALTERNATE 4F: INSTALL NEW FIBERGLASS AIR CONDITIONING SLEEVES WITH STAINLESS STEEL GRILLS AND MATCHING FIBERGLASS OFF-SEASON COVERS.
- O. ADD ALTERNATE 4H: INSTALL NEW ALUMINUM, HORIZONTAL SLIDING WINDOWS AT WALKWAYS ON A UNIT PRICE BASIS.

**GENERAL NOTES**

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2. CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS. NOTIFY ENGINEER IMMEDIATELY IF ACTUAL DIMENSIONS VARY FROM THOSE SHOWN ON THESE DRAWINGS.
3. COLORS SHOWN ON DRAWINGS ARE REPRESENTATIVE. COLORS AND TEXTURES ARE TO BE SELECTED BY OWNER.
4. ALL FASTENERS/HARDWARE SECURING OR PENETRATING TREATED WOOD SHALL BE STAINLESS STEEL.
5. SIZE OF SHEET METAL FABRICATIONS SHOWN ARE NOMINAL AND MAY VARY. CONTRACTOR MUST FIELD MEASURE AT EACH LOCATION AND CUSTOM FABRICATE FLASHINGS TO ENSURE AN ACCURATE FIT. DIFFERENT SIZES WILL BE REQUIRED FOR FLASHINGS THAT MAY APPEAR TO BE SIMILAR.
6. HEM ALL EXPOSED CUT EDGES OF SHEET METAL FLASHINGS, ESPECIALLY WHERE THESE ITEMS ARE EXPOSED TO BUILDING RESIDENTS. PROPERLY PREPARE AND PAINT STAINLESS STEEL FLASHINGS IN THE SHOP TO THE GREATEST EXTENT POSSIBLE, WHERE REQUIRED.
7. ALL EXTERIOR SEALANT IS TO BE REMOVED AND REPLACED PRIOR TO INSTALLING NEW EIFS. TYPICAL JOINTS TO BE RESEALED INCLUDE, BUT ARE NOT LIMITED TO: HORIZONTAL AND VERTICAL MASONRY CONTROL JOINTS; PERIMETERS OF WINDOWS, DOORS, AND OTHER LOCATIONS. SEE DETAILS FOR FURTHER INFORMATION.
8. JOINTS TO BE RE-SEALED WILL REQUIRE FULL REMOVAL OF EXISTING SEALANT, BACKER ROD AND OTHER MATERIAL FROM WITHIN THE JOINTS. PRIOR TO INSTALLATION OF NEW MATERIALS, VERIFY THAT ALL JOINTS ARE CLEARED AND THE SURFACES PREPARED IN ACCORDANCE WITH THE SEALANT MANUFACTURER'S GUIDELINES.
9. INSTALL SEALANT JOINTS IN ACCORDANCE WITH DETAIL 1/A5.1.
10. NEATLY INSTALL SEALANT JOINTS AT ALL EXPOSED FLASHINGS. CONCEAL SEALANT WHERE SHOWN ON DRAWINGS, AND TO THE GREATEST EXTENT POSSIBLE.
11. ALL ITEMS MOUNTED TO THE BUILDING FACADE MAY NOT BE SHOWN. REMOVE AND REINSTALL ALL SUCH ITEMS IN ACCORDANCE WITH THE COATING OR EIFS MANUFACTURER'S RECOMMENDATIONS AND APPROVED SHOP DRAWINGS. WHERE IMPRACTICAL TO REMOVE ITEMS, PROVIDE DETAILED SHOP DRAWINGS FOR EIFS INSTALLATION AROUND THESE ITEMS TO ENSURE LEAKPROOF PERFORMANCE.
12. ALL EIFS INSULATION BOARDS MUST BE BACK-WRAPPED BEFORE APPLICATION TO THE BUILDING TO ENSURE THAT REINFORCING MESH IS FULLY ENCAPSULATED IN BASE COAT.
13. INSTALL ULTRA-HIGH IMPACT RESISTANT EIFS WITHIN ONE FLOOR OF GRADE AND WALKING SURFACES. INSTALL STANDARD IMPACT RESISTANT EIFS AT ALL OTHER LOCATIONS.
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16. REPAIR DAMAGED CONCRETE AT WALKWAY EDGES IN ACCORDANCE WITH WORK CODE RIC (DETAIL 2/A5.1).
17. REPAIR DAMAGED TOP/HORIZONTAL CONCRETE IN ACCORDANCE WITH WORK CODE R2C (DETAIL 3/A5.1).
18. REPAIR DAMAGED VERTICAL/OVERHEAD CONCRETE IN ACCORDANCE WITH WORK CODE R3C (DETAIL 4/A5.1).
19. REPAIR DAMAGED STUCCO IN ACCORDANCE WITH WORK CODE R1ST (DETAILS 7/A5.1 AND 8/A5.1).
20. TERMINATE NEW EIFS IN ACCORDANCE WITH DETAILS 12/A5.1, 14/A5.1, 16/A5.1, 17/A5.1, AND 18/A5.1.
21. COAT CONCRETE WALKING SURFACES WITH A URETHANE WATERPROOFING MEMBRANE, WHERE INDICATED.
22. COAT ALL OVERHEAD CONCRETE SURFACES AND SLAB EDGES WITH BREATHABLE ACRYLIC COATING, WHERE INDICATED.
23. COAT STUCCO WALLS WITH SILICONE ELASTOMERIC COATING, WHERE INDICATED.

**LOCATION OF EXISTING BALCONY, WINDOW AND DOOR SHUTTERS**  
(Shutters to be inspected, removed and reinstalled)

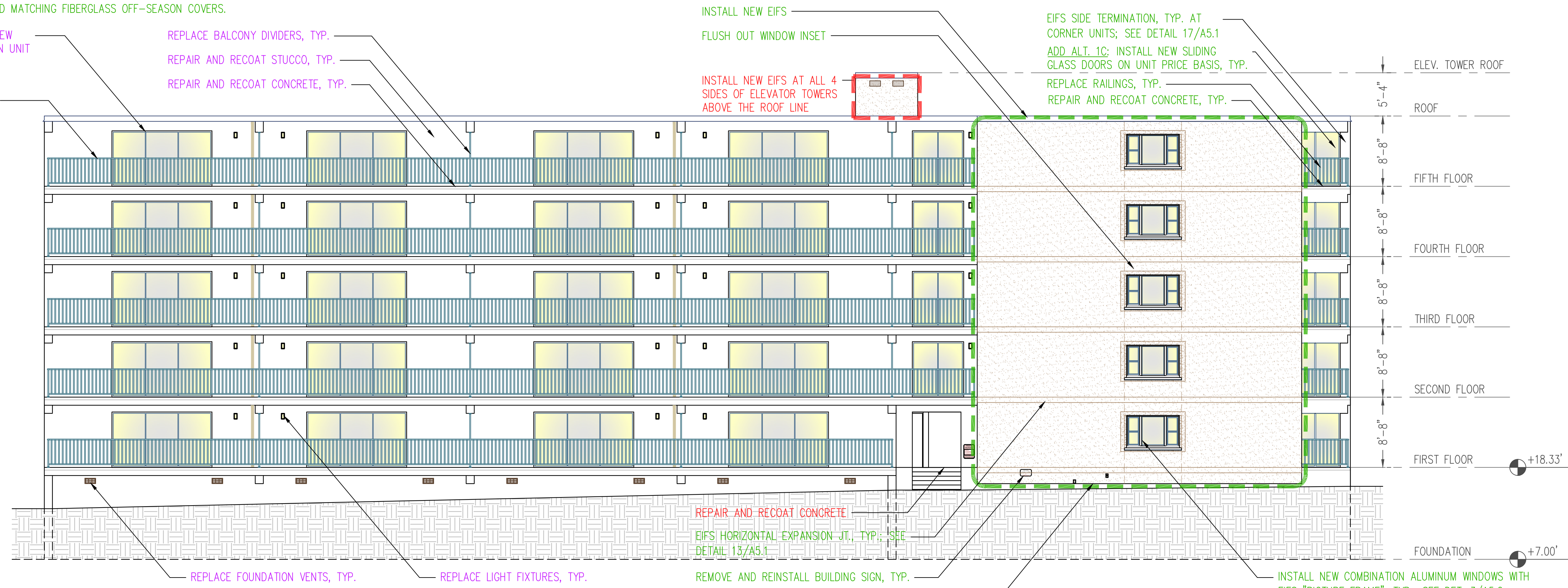
	SOUTH										EAST									
	#01	#02	#03	#04	#05	#06	#07	#08	#09	#10	#11	#12	#13	#14	#15	#16	#17	#18	#19	#20
5th Floor	Door	Door	Door	Door	Door	Window	Doors	Window	Window	Window	Balcony	Window	Balcony	Window	Balcony	Window	Door	Door	Door	Door
4th Floor																				
3rd Floor																				
2nd Floor																				
1st Floor																				

Location of shutters

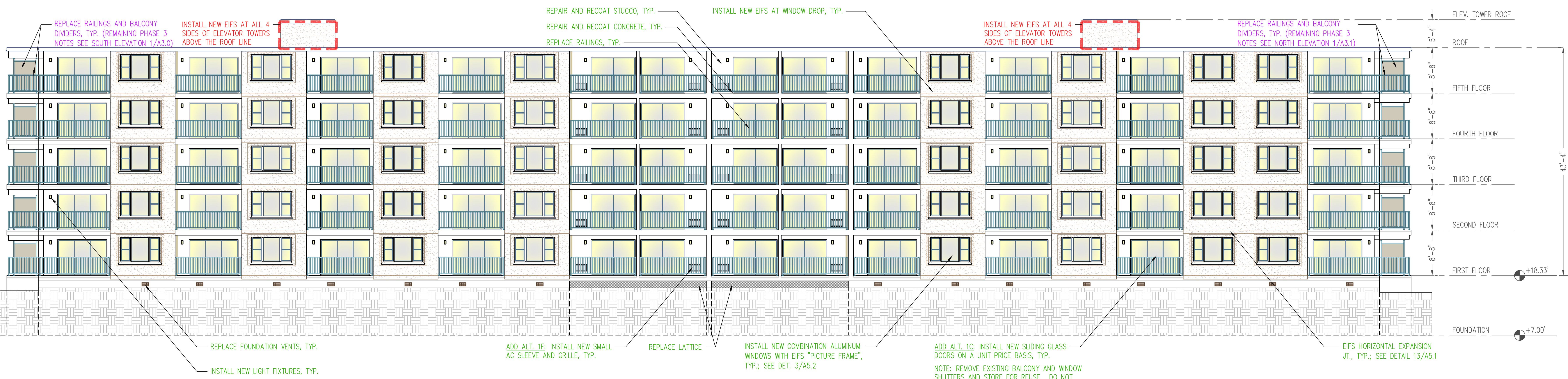
**BALCONIES COVERED WITH TILE**  
(TILE TO BE REMOVED AND NOT REINSTALLED)

	SOUTH										EAST									
	#01	#02	#03	#04	#05	#06	#07	#08	#09	#10	#11	#12	#13	#14	#15	#16	#17	#18	#19	#20
5th Floor																				
4th Floor																				
3rd Floor																				
2nd Floor																				
1st Floor																				

Tile on balcony



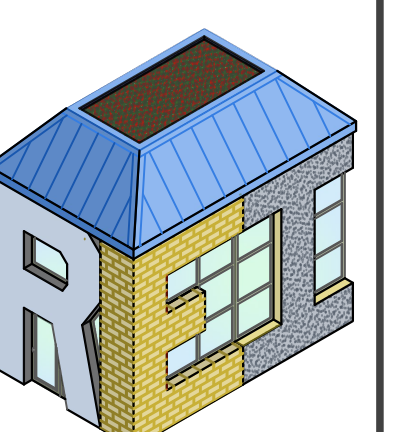
**1 SOUTH ELEVATION**  
1/8" = 1'-0"



**2 EAST ELEVATION**  
1/8" = 1'-0"

#	DATE	SUBMISSION/REVISION
01	05/25/2018	BID SET
02	06/13/2018	ADDENDUM 03 REVISIONS
03	09/24/2018	REVISED BID SET

**FACADE RESTORATION**  
OCEAN PLACE CONDOMINIUM  
14500 WIGHT STREET  
OCEAN CITY, MARYLAND 21842



REV	DATE	DESCRIPTION
09/24/18	REV. BID SET	
MAC	AS NOTED	
342.004		

**PHASE 1**

- A. REMOVE EXISTING EIFS, WINDOWS, AND RAILINGS.
- B. REPLACE ALL SEALANT JOINTS.
- C. REMOVE ALL BALCONY & WINDOW SHUTTERS. DO NOT REMOVE SLIDING GLASS DOOR SHUTTERS.
- D. REMOVE ALL TILE GROUT AND SETTING BED COVERING CONCRETE BALCONIES.
- E. REPAIR/REPLACE DETERIORATED STUCCO INSIDE BALCONY AREAS.
- F. INSTALL SILICONE ELASTOMERIC COATING TO ALL STUCCO WALLS.
- G. INSTALL NEW DRAINABLE EIFS WITH SECONDARY BARRIER AT ALL WALLS, EXCEPT INSIDE BALCONY AREAS. AT NORTH & SOUTH ELEVATIONS, USE ULTRA-HIGH IMPACT MESH FROM GRADE TO 4TH FLOOR LINE.
- H. INSTALL NEW COMBINATION (OPERABLE-FIXED-OPERABLE), ALUMINUM WINDOWS WITH STANDARD GLAZING (EXCEPT TEMPERED WHERE REQUIRED). SEE SPECIFICATION SECTION 085113- ALUMINUM WINDOWS.
- I. FULLY REMOVE EXISTING DECK COATINGS.
- J. REPAIR CONCRETE BALCONIES AND SUPPORTING CONCRETE BEAMS.
- K. INSTALL A URETHANE TRAFFIC COATING TO WALKING SURFACE OF ALL BALCONIES.
- L. INSTALL A BREATHABLE ACRYLIC COATING TO EDGES AND UNDERSIDES OF ALL BALCONIES AND SUPPORTING BEAMS.
- M. INSTALL NEW ALUMINUM RAILINGS.
- N. INSTALL NEW LIGHT FIXTURES.
- O. ADD ALTERNATE 1A: INSTALL IMPACT RESISTANT GLAZING IN ALL WINDOWS IN LIEU OF STANDARD GLAZING.
- P. ADD ALTERNATE 1B: INSTALL NEW ALUMINUM, VERTICAL ROLLING, HURRICANE SHUTTERS AT NEW WINDOWS AND SLIDING GLASS DOORS ON A UNIT PRICE BASIS.
- Q. ADD ALTERNATE 1C: INSTALL NEW ALUMINUM, SLIDING GLASS DOORS AT BALCONIES ON A UNIT PRICE BASIS.
- R. ADD ALTERNATE 1E: INSTALL NEW ALUMINUM BALCONY SHUTTERS AT EDGES OF BALCONIES ON A UNIT PRICE BASIS.
- S. ADD ALTERNATE 1F: INSTALL NEW FIBERGLASS AIR CONDITIONING SLEEVES WITH STAINLESS STEEL GRILLS AND MATCHING FIBERGLASS OFF-SEASON COVERS.

**PHASE 2**

- A. REMOVE EXISTING EIFS, WINDOWS, AND STAIR RAILINGS.
- B. REPLACE ALL SEALANT JOINTS.
- C. REPAIR/REPLACE DETERIORATED STUCCO INSIDE STAIRWAY SHEAR WALLS ONLY.
- D. INSTALL SILICONE ELASTOMERIC COATING TO ALL STUCCO WALLS.
- E. INSTALL NEW DRAINABLE EIFS WITH SECONDARY BARRIER AT ALL WALLS, EXCEPT INSIDE WEST STAIRS. AT THE WEST ELEVATION, SOUTH ELEVATION OF THE NORTH STAIR TOWER, AND NORTH ELEVATION OF THE SOUTH STAIR TOWER, USE ULTRA-HIGH IMPACT MESH FROM GRADE TO 4TH FLOOR LINE.
- F. INSTALL TWO NEW EIFS BUILDING SIGNS.
- G. INSTALL NEW HORIZONTAL SLIDING, ALUMINUM WINDOWS WITH STANDARD GLAZING (EXCEPT TEMPERED WHERE REQUIRED). SEE SPECIFICATION SECTION 085113-ALUMINUM WINDOWS.
- H. FULLY REMOVE EXISTING COATING ON SURFACE OF STAIRS AND LANDINGS (IF ANY).
- I. REPAIR CONCRETE STAIRS AND LANDINGS.
- J. INSTALL A URETHANE TRAFFIC COATING TO WALKING SURFACE OF ALL STAIRS AND LANDINGS, INCLUDING STAIR RISERS.
- K. INSTALL A BREATHABLE ACRYLIC COATING TO EDGES AND UNDERSIDES OF ALL STAIRS AND LANDINGS.
- L. INSTALL NEW ALUMINUM RAILINGS AT STAIR FLIGHTS AND LANDINGS.
- M. ADD ALTERNATE 2A: INSTALL IMPACT RESISTANT GLAZING IN ALL WINDOWS IN LIEU OF STANDARD GLAZING.
- N. ADD ALTERNATE 2B: INSTALL NEW ALUMINUM, VERTICAL ROLLING, HURRICANE SHUTTERS AT NEW WINDOWS ON A UNIT PRICE BASIS.

**PHASE 3**

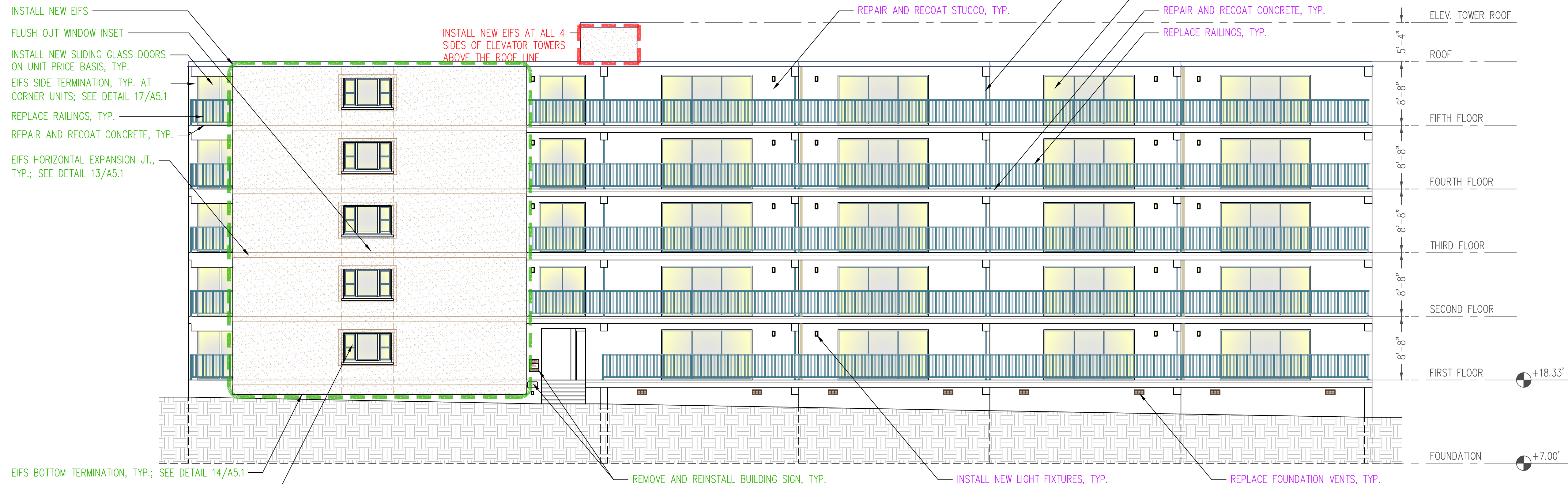
- A. REMOVE EXISTING RAILINGS.
- B. REPLACE ALL SEALANT JOINTS.
- C. REPAIR/REPLACE DETERIORATED STUCCO WALLS.
- D. INSTALL SILICONE ELASTOMERIC COATING TO ALL STUCCO WALLS.
- E. FULLY REMOVE EXISTING DECK COATINGS.
- F. REPAIR CONCRETE BALCONIES AND SUPPORTING CONCRETE BEAMS.
- G. INSTALL A URETHANE TRAFFIC COATING TO WALKING SURFACE OF ALL BALCONIES.
- H. INSTALL A BREATHABLE ACRYLIC COATING TO EDGES AND UNDERSIDES OF ALL BALCONIES AND SUPPORTING BEAMS.
- I. INSTALL NEW ALUMINUM RAILINGS AND BALCONY DIVIDERS.
- J. INSTALL NEW LIGHT FIXTURES.
- K. INSTALL NEW FOUNDATION VENTS.
- L. ADD ALTERNATE 3C: INSTALL NEW ALUMINUM, SLIDING GLASS DOORS AT BALCONIES ON A UNIT PRICE BASIS.
- M. ADD ALTERNATE 3D: INSTALL NEW ALUMINUM, VERTICAL ROLLING, HURRICANE SHUTTERS AT DOORS (NEW OR EXISTING) ON A UNIT PRICE BASIS.
- N. ADD ALTERNATE 3E: INSTALL NEW DRAINABLE EIFS WITH SECONDARY BARRIER AT ALL WALLS.

**PHASE 4**

- A. REMOVE EXISTING RAILINGS.
- B. REPLACE ALL SEALANT JOINTS.
- C. REPAIR/REPLACE DETERIORATED STUCCO WALLS, INCLUDING BUILDING WALLS INSIDE WEST STAIRWAYS AND WALKWAY SIDES OF BOTH ELEVATOR TOWERS.
- D. INSTALL SILICONE ELASTOMERIC COATING TO ALL STUCCO WALLS INCLUDING PRIVATE WALKWAYS TO UNITS 01, 02, 03, 04, 09, 10, 11, 12, 17, 18, 19, AND 20.
- E. INSTALL NEW DRAINABLE EIFS WITH SECONDARY BARRIER AT SOUTH AND WEST WALLS OF NORTH ELEVATOR TOWER, AND NORTH AND WEST WALLS OF SOUTH ELEVATOR TOWER. ABOVE THE ROOF LINE, INSTALL EIFS ON ALL FOUR SIDES OF BOTH TOWERS.
- F. FULLY REMOVE EXISTING DECK COATINGS.
- G. REPAIR CONCRETE WALKWAYS, RAMP, EAST STAIRWAYS AND SUPPORTING CONCRETE BEAMS.
- H. INSTALL A URETHANE TRAFFIC COATING TO WALKING SURFACE OF ALL BALCONIES, WALKWAYS, RAMP, AND EAST STAIRWAYS.
- I. INSTALL A BREATHABLE ACRYLIC COATING TO EDGES AND UNDERSIDES OF ALL WALKWAYS, STAIRS AND SUPPORTING BEAMS.
- J. REMOVE AND REINSTALL UNIT IDENTIFICATION PLACARDS.
- K. INSTALL NEW LIGHT FIXTURES, EXIT SIGNS, AND FIRE EXTINGUISHER BOXES.
- M. INSTALL NEW FOUNDATION VENTS.
- N. ADD ALTERNATE 4E: INSTALL NEW FIBERGLASS AIR CONDITIONING SLEEVES WITH STAINLESS STEEL GRILLS AND MATCHING FIBERGLASS OFF-SEASON COVERS.
- O. ADD ALTERNATE 4H: INSTALL NEW ALUMINUM, HORIZONTAL SLIDING WINDOWS AT WALKWAYS ON A UNIT PRICE BASIS.

**GENERAL NOTES**

1. ALL ITEMS LABELED "EXISTING" OR "EXISTING TO REMAIN" CONSTITUTE EXISTING CONSTRUCTION THAT SHALL REMAIN IN PLACE UNDISTURBED. UNLESS OTHERWISE NOTED, ALL OTHER ITEMS ARE TO BE INSTALLED NEW BY THE CONTRACTOR.
2. CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS. NOTIFY ENGINEER IMMEDIATELY IF ACTUAL DIMENSIONS VARY FROM THOSE SHOWN ON THESE DRAWINGS.
3. COLORS SHOWN ON DRAWINGS ARE REPRESENTATIVE. COLORS AND TEXTURES ARE TO BE SELECTED BY OWNER.
4. ALL FASTENERS/HARDWARE SECURING OR PENETRATING TREATED WOOD SHALL BE STAINLESS STEEL.
5. SIZE OF SHEET METAL FABRICATIONS SHOWN ARE NOMINAL AND MAY VARY. CONTRACTOR MUST FIELD MEASURE AT EACH LOCATION AND CUSTOM FABRICATE FLASHINGS TO ENSURE AN ACCURATE FIT. DIFFERENT SIZES WILL BE REQUIRED FOR FLASHINGS THAT MAY APPEAR TO BE SIMILAR.
6. HEM ALL EXPOSED CUT EDGES OF SHEET METAL FLASHINGS, ESPECIALLY WHERE THESE ITEMS ARE EXPOSED TO BUILDING RESIDENTS. PROPERLY PREPARE AND PAINT STAINLESS STEEL FLASHINGS IN THE SHOP TO THE GREATEST EXTENT POSSIBLE, WHERE REQUIRED.
7. ALL EXTERIOR SEALANT IS TO BE REMOVED AND REPLACED PRIOR TO INSTALLING NEW EIFS. TYPICAL JOINTS TO BE RESEALED INCLUDE, BUT ARE NOT LIMITED TO: HORIZONTAL AND VERTICAL MASONRY CONTROL JOINTS; PERIMETERS OF WINDOWS, DOORS, AND OTHER LOCATIONS. SEE DETAILS FOR FURTHER INFORMATION.
8. JOINTS TO BE RE-SEALED WILL REQUIRE FULL REMOVAL OF EXISTING SEALANT, BACKER ROD AND OTHER MATERIAL FROM WITHIN THE JOINTS. PRIOR TO INSTALLATION OF NEW MATERIALS, VERIFY THAT ALL JOINTS ARE CLEARED AND THE SURFACES PREPARED IN ACCORDANCE WITH THE SEALANT MANUFACTURER'S GUIDELINES.
9. NEATLY INSTALL SEALANT JOINTS IN ACCORDANCE WITH DETAIL 1/A5.1.
10. ALL ITEMS MOUNTED TO THE BUILDING FACADE MAY NOT BE SHOWN. REMOVE AND REINSTALL ALL SUCH ITEMS IN ACCORDANCE WITH THE COATING OR EIFS MANUFACTURER'S RECOMMENDATIONS AND APPROVED SHOP DRAWINGS. WHERE IMPRACTICAL TO REMOVE ITEMS, PROVIDE DETAILED SHOP DRAWINGS FOR EIFS INSTALLATION AROUND THESE ITEMS TO ENSURE LEAKPROOF PERFORMANCE.
11. ALL EIFS INSULATION BOARDS MUST BE BACK-WRAPPED BEFORE APPLICATION TO THE BUILDING TO ENSURE THAT REINFORCING MESH IS FULLY ENCAPSULATED IN BASE COAT.
12. INSTALL ULTRA-HIGH IMPACT RESISTANT EIFS WITHIN ONE FLOOR OF GRADE AND WALKING SURFACES. INSTALL STANDARD IMPACT RESISTANT EIFS AT ALL OTHER LOCATIONS.
13. INSTALL HORIZONTAL EXPANSION JOINTS IN NEW EIFS AT EACH FLOOR LEVEL IN ACCORDANCE WITH DETAIL 13/A5.1.
14. INSTALL VERTICAL EXPANSION JOINTS IN NEW EIFS WHERE REQUIRED BY EIFS MANUFACTURER IN ACCORDANCE WITH DETAIL 15/A5.1.
15. REPAIR DAMAGED CONCRETE AT WALKWAY EDGES IN ACCORDANCE WITH WORK CODE RIC (DETAIL 2/A5.1).
16. REPAIR DAMAGED TOP/HORIZONTAL CONCRETE IN ACCORDANCE WITH WORK CODE R2C (DETAIL 3/A5.1).
17. REPAIR DAMAGED VERTICAL/OVERHEAD CONCRETE IN ACCORDANCE WITH WORK CODE R3C (DETAIL 4/A5.1).
18. REPAIR DAMAGED STUCCO IN ACCORDANCE WITH WORK CODE R1ST (DETAILS 7/A5.1 AND 8/A5.1).
19. TERMINATE NEW EIFS IN ACCORDANCE WITH DETAILS 12/A5.1, 14/A5.1, 16/A5.1, 17/A5.1, AND 18/A5.1.
20. COAT CONCRETE WALKING SURFACES WITH A URETHANE WATERPROOFING MEMBRANE, WHERE INDICATED.
21. COAT ALL OVERHEAD CONCRETE SURFACES AND SLAB EDGES WITH BREATHABLE ACRYLIC COATING, WHERE INDICATED.
22. COAT STUCCO WALLS WITH SILICONE ELASTOMERIC COATING, WHERE INDICATED.



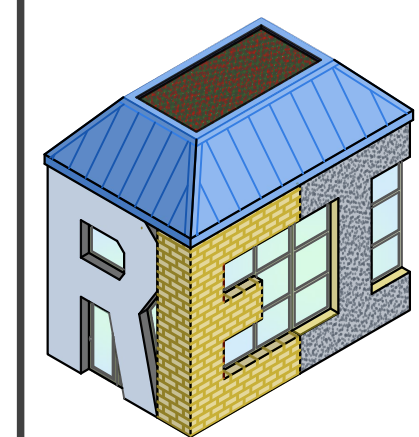
**1 NORTH ELEVATION**  
1/8" = 1'-0"



**2 WEST ELEVATION**  
1/8" = 1'-0"

#	DATE	SUBMISSION/REVISION
01	05/25/2018	BID SET
02	06/13/2018	ADDENDUM 03 REVISIONS
03	09/24/2018	REVISED BID SET

**FACADE RESTORATION**  
OCEAN PLACE CONDOMINIUM  
14500 WIGHT STREET  
OCEAN CITY, MARYLAND 21842



**RESTORATION ENGINEERING, INC.**  
11000 WIGHT STREET, SUITE 4  
FARMERSVILLE, VA 22039  
ELEVATIONS  
09/24/18 REV. BID SET  
REV. MACAS NOTED  
342.004

**A-3.1**  
4 OF 9

**PHASE 1**

- A. REMOVE EXISTING EIFS, WINDOWS, AND RAILINGS.
- B. REPLACE ALL SEALANT JOINTS.
- C. REMOVE ALL BALCONY & WINDOW SHUTTERS. DO NOT REMOVE SLIDING GLASS DOOR SHUTTERS.
- D. REMOVE ALL TILE GROUT AND SETTING BED COVERING CONCRETE BALCONIES.
- E. REPAIR/REPLACE DETERIORATED STUCCO INSIDE BALCONY AREAS.
- F. INSTALL SILICONE ELASTOMERIC COATING TO ALL STUCCO WALLS.
- G. FULLY REMOVE EXISTING DECK COATINGS.
- H. REPAIR CONCRETE BALCONIES AND SUPPORTING CONCRETE BEAMS.
- I. INSTALL A URETHANE TRAFFIC COATING TO WALKING SURFACE OF ALL BALCONIES.
- J. INSTALL A BREATHABLE ACRYLIC COATING TO EDGES AND UNDERSIDES OF ALL BALCONIES AND SUPPORTING BEAMS.
- K. INSTALL NEW ALUMINUM RAILINGS.
- L. INSTALL NEW LIGHT FIXTURES.
- M. INSTALL NEW FOUNDATION VENTS.
- N. ADD ALTERNATE 1A: INSTALL IMPACT RESISTANT GLAZING IN ALL WINDOWS IN LIEU OF STANDARD GLAZING.
- O. ADD ALTERNATE 1B: INSTALL NEW ALUMINUM, VERTICAL ROLLING, HURRICANE SHUTTERS AT NEW WINDOWS AND SLIDING GLASS DOORS ON A UNIT PRICE BASIS.
- P. ADD ALTERNATE 1C: INSTALL NEW ALUMINUM, SLIDING GLASS DOORS AT BALCONIES ON A UNIT PRICE BASIS.
- Q. ADD ALTERNATE 1E: INSTALL NEW ALUMINUM BALCONY SHUTTERS AT EDGES OF BALCONIES ON A UNIT PRICE BASIS.
- R. ADD ALTERNATE 1F: INSTALL NEW FIBERGLASS AIR CONDITIONING SLEEVES WITH STAINLESS STEEL GRILLS AND MATCHING FIBERGLASS OFF-SEASON COVERS.

**PHASE 2**

- A. REMOVE EXISTING EIFS, WINDOWS, AND STAIR RAILINGS.
- B. REPLACE ALL SEALANT JOINTS.
- C. REPAIR/REPLACE DETERIORATED STUCCO INSIDE STAIRWAY SHEAR WALLS ONLY.
- D. INSTALL SILICONE ELASTOMERIC COATING TO ALL STUCCO WALLS.
- E. INSTALL NEW DRAINABLE EIFS WITH SECONDARY BARRIER AT ALL WALLS, EXCEPT INSIDE WEST STAIRS. AT THE WEST ELEVATION, SOUTH ELEVATION OF THE NORTH STAIR TOWER, AND NORTH ELEVATION OF THE SOUTH STAIR TOWER, USE ULTRA-HIGH IMPACT MESH FROM GRADE TO 4TH FLOOR LINE.
- F. INSTALL TWO NEW EIFS BUILDING SIGNS.
- G. INSTALL NEW HORIZONTAL SLIDING, ALUMINUM WINDOWS WITH STANDARD GLAZING (EXCEPT TEMPERED WHERE REQUIRED). SEE SPECIFICATION SECTION 085113-ALUMINUM WINDOWS.
- H. FULLY REMOVE EXISTING COATING ON SURFACE OF STAIRS AND LANDINGS (IF ANY).
- I. REPAIR CONCRETE STAIRS AND LANDINGS.
- J. INSTALL A URETHANE TRAFFIC COATING TO WALKING SURFACE OF ALL STAIRS AND LANDINGS, INCLUDING STAIR RISERS.
- K. INSTALL A BREATHABLE ACRYLIC COATING TO EDGES AND UNDERSIDES OF ALL STAIRS AND LANDINGS.
- L. INSTALL NEW HORIZONTAL SLIDING, ALUMINUM WINDOWS AT STAIR FLIGHTS AND LANDINGS.
- M. ADD ALTERNATE 2A: INSTALL IMPACT RESISTANT GLAZING IN ALL WINDOWS IN LIEU OF STANDARD GLAZING.
- N. ADD ALTERNATE 2B: INSTALL NEW ALUMINUM, VERTICAL ROLLING, HURRICANE SHUTTERS AT NEW WINDOWS ON A UNIT PRICE BASIS.

**PHASE 3**

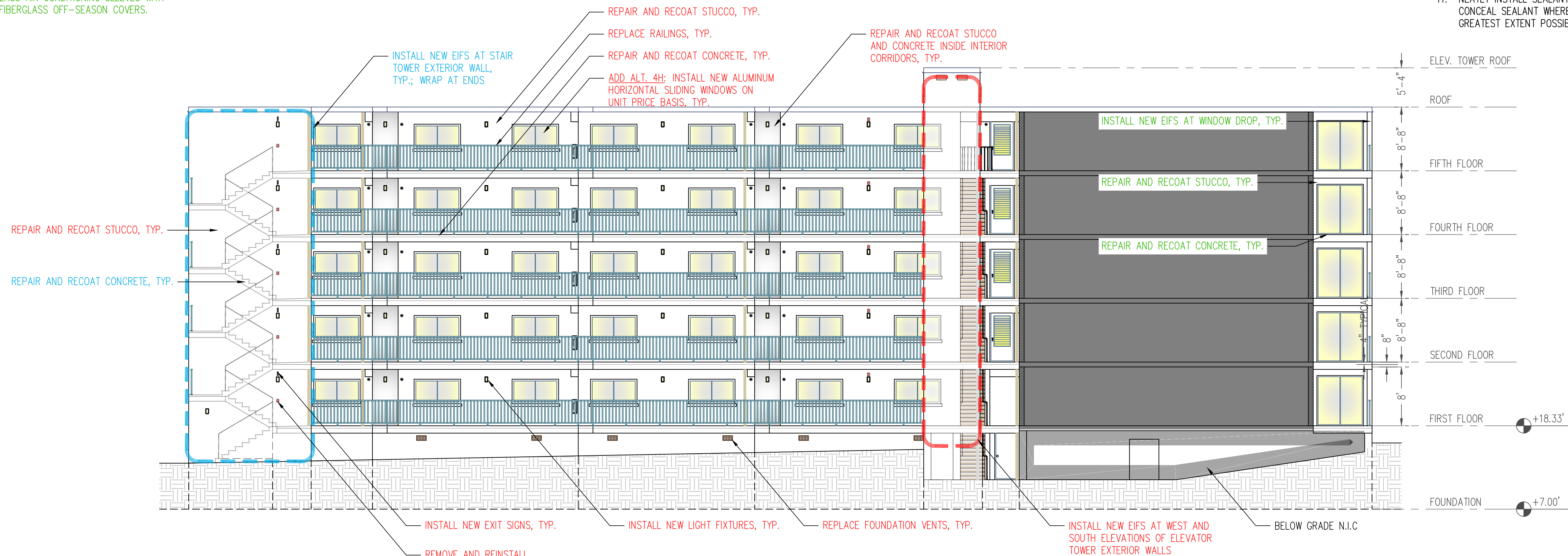
- A. REMOVE EXISTING RAILINGS.
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- C. REPAIR/REPLACE DETERIORATED STUCCO WALLS.
- D. INSTALL SILICONE ELASTOMERIC COATING TO ALL STUCCO WALLS.
- E. FULLY REMOVE EXISTING DECK COATINGS.
- F. REPAIR CONCRETE BALCONIES AND SUPPORTING CONCRETE BEAMS.
- G. INSTALL A URETHANE TRAFFIC COATING TO WALKING SURFACE OF ALL BALCONIES.
- H. INSTALL A BREATHABLE ACRYLIC COATING TO EDGES AND UNDERSIDES OF ALL BALCONIES AND SUPPORTING BEAMS.
- I. INSTALL NEW ALUMINUM RAILINGS AND BALCONY DIVIDERS.
- J. INSTALL NEW LIGHT FIXTURES.
- K. INSTALL NEW FOUNDATION VENTS.
- L. ADD ALTERNATE 3C: INSTALL NEW ALUMINUM, SLIDING GLASS DOORS AT BALCONIES ON A UNIT PRICE BASIS.
- M. ADD ALTERNATE 3D: INSTALL NEW ALUMINUM, VERTICAL ROLLING, HURRICANE SHUTTERS AT DOORS (NEW OR EXISTING) ON A UNIT PRICE BASIS.
- N. ADD ALTERNATE 3E: INSTALL NEW DRAINABLE EIFS WITH SECONDARY BARRIER AT ALL WALLS.

**PHASE 4**

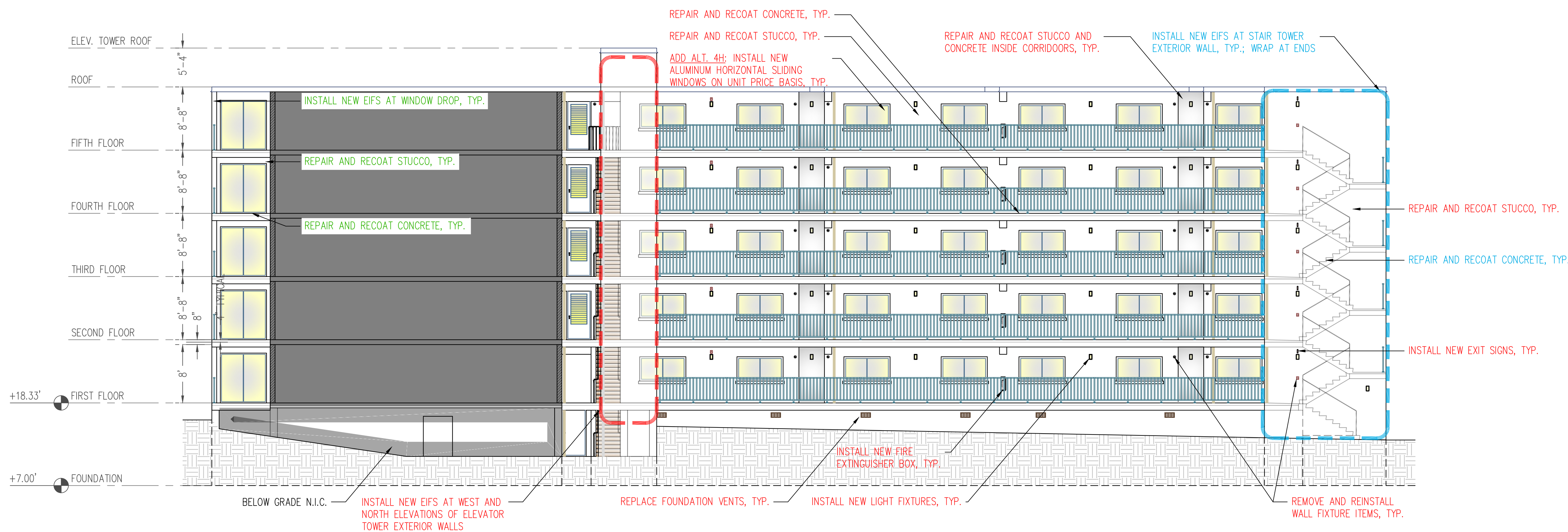
- A. REMOVE EXISTING RAILINGS.
- B. REPLACE ALL SEALANT JOINTS.
- C. REPAIR/REPLACE DETERIORATED STUCCO WALLS, INCLUDING BUILDING WALLS INSIDE WEST STAIRWAYS AND WALKWAY SIDES OF BOTH ELEVATOR TOWERS.
- D. INSTALL SILICONE ELASTOMERIC COATING TO ALL STUCCO WALLS INCLUDING PRIVATE WALKWAYS TO UNITS 01, 02, 03, 04, 09, 10, 11, 12, 17, 18, 19, AND 20.
- E. INSTALL NEW DRAINABLE EIFS WITH SECONDARY BARRIER AT SOUTH AND WEST WALLS OF NORTH ELEVATOR TOWER, AND NORTH AND WEST WALLS OF SOUTH ELEVATOR TOWER. ABOVE THE ROOF LINE, INSTALL EIFS ON ALL FOUR SIDES OF BOTH TOWERS.
- F. FULLY REMOVE EXISTING DECK COATINGS.
- G. REPAIR CONCRETE WALKWAYS, RAMPS, EAST STAIRWAYS AND SUPPORTING CONCRETE BEAMS.
- H. INSTALL A URETHANE TRAFFIC COATING TO WALKING SURFACE OF ALL BALCONIES, WALKWAYS, RAMPS, AND EAST STAIRWAYS.
- I. INSTALL A BREATHABLE ACRYLIC COATING TO EDGES AND UNDERSIDES OF ALL WALKWAYS, STAIRS AND SUPPORTING BEAMS.
- J. INSTALL NEW ALUMINUM RAILINGS.
- K. REMOVE AND REINSTALL UNIT IDENTIFICATION PLACARDS.
- L. INSTALL NEW LIGHT FIXTURES, EXIT SIGNS, AND FIRE EXTINGUISHER BOXES.
- M. INSTALL NEW FOUNDATION VENTS.
- N. ADD ALTERNATE 4E: INSTALL NEW FIBERGLASS AIR CONDITIONING SLEEVES WITH STAINLESS STEEL GRILLS AND MATCHING FIBERGLASS OFF-SEASON COVERS.
- O. ADD ALTERNATE 4H: INSTALL NEW ALUMINUM, HORIZONTAL SLIDING WINDOWS AT WALKWAYS ON A UNIT PRICE BASIS.

**GENERAL NOTES**

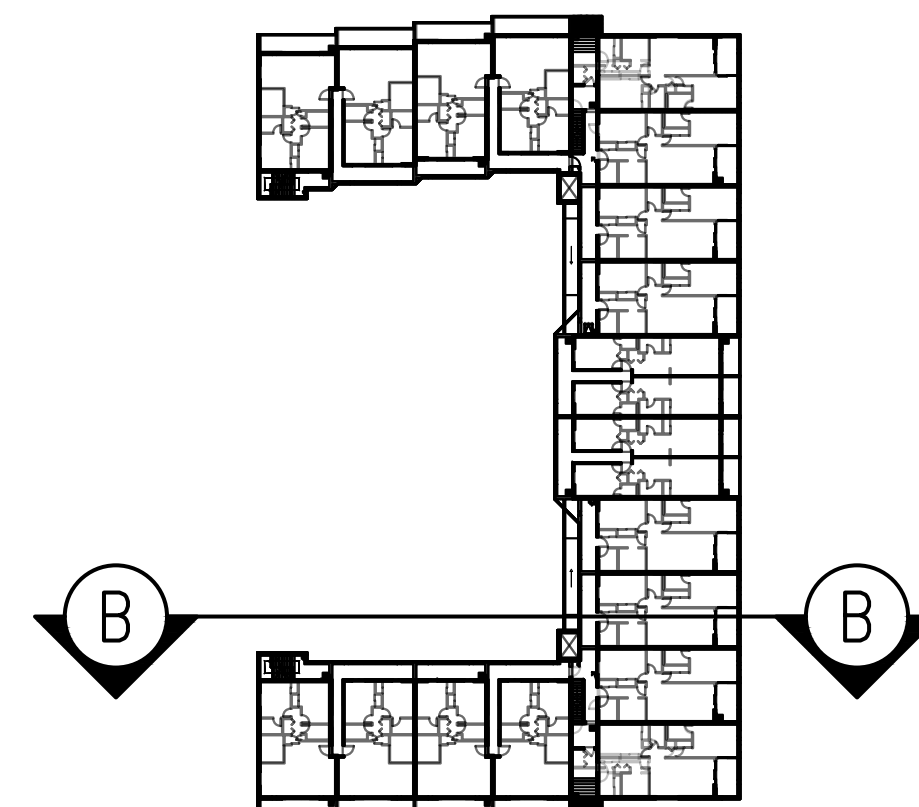
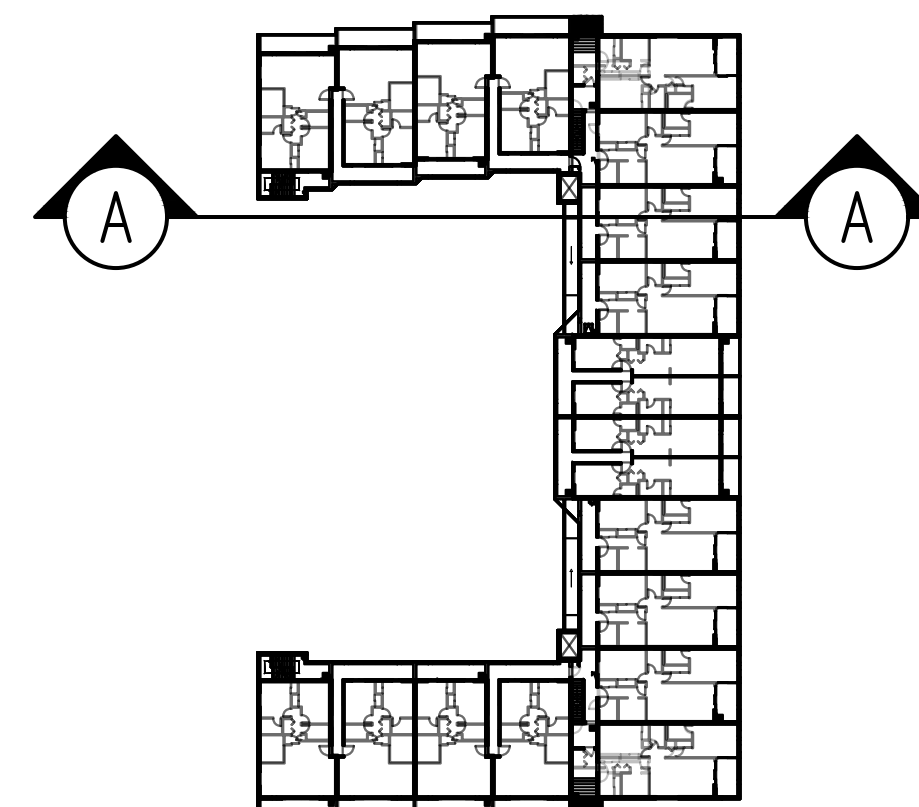
1. ALL ITEMS LABELED "EXISTING" OR "EXISTING TO REMAIN" CONSTITUTE EXISTING CONSTRUCTION THAT SHALL REMAIN IN PLACE UNDISTURBED. UNLESS OTHERWISE NOTED, ALL OTHER ITEMS ARE TO BE INSTALLED NEW BY THE CONTRACTOR.
2. CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS. NOTIFY ENGINEER IMMEDIATELY IF ACTUAL DIMENSIONS VARY FROM THOSE SHOWN ON THESE DRAWINGS.
3. COLORS SHOWN ON DRAWINGS ARE REPRESENTATIVE. COLORS AND TEXTURES ARE TO BE SELECTED BY OWNER.
4. ALL FASTENERS/HARDWARE SECURING OR PENETRATING TREATED WOOD SHALL BE STAINLESS STEEL.
5. SIZE OF SHEET METAL FABRICATIONS SHOWN ARE NOMINAL AND MAY VARY. CONTRACTOR MUST FIELD MEASURE AT EACH LOCATION AND CUSTOM FABRICATE FLASHINGS TO ENSURE AN ACCURATE FIT. DIFFERENT SIZES WILL BE REQUIRED FOR FLASHINGS THAT MAY APPEAR TO BE SIMILAR.
6. HEM ALL EXPOSED CUT EDGES OF SHEET METAL FLASHINGS, ESPECIALLY WHERE THESE ITEMS ARE EXPOSED TO BUILDING RESIDENTS. PROPERLY PREPARE AND PAINT STAINLESS STEEL FLASHINGS IN THE SHOP TO THE GREATEST EXTENT POSSIBLE, WHERE REQUIRED.
7. ALL EXTERIOR SEALANT IS TO BE REMOVED AND REPLACED PRIOR TO INSTALLING NEW EIFS. TYPICAL JOINTS TO BE RESEALED INCLUDE, BUT ARE NOT LIMITED TO: HORIZONTAL AND VERTICAL MASONRY CONTROL JOINTS; PERIMETERS OF WINDOWS, DOORS, AND OTHER LOCATIONS. SEE DETAILS FOR FURTHER INFORMATION.
8. JOINTS TO BE RE-SEALED WILL REQUIRE FULL REMOVAL OF EXISTING SEALANT, BACKER ROD AND OTHER MATERIAL FROM WITHIN THE JOINTS. PRIOR TO INSTALLATION OF NEW MATERIALS, VERIFY THAT ALL JOINTS ARE CLEARED AND THE SURFACES PREPARED IN ACCORDANCE WITH THE SEALANT MANUFACTURER'S GUIDELINES.
9. INSTALL SEALANT JOINTS IN ACCORDANCE WITH DETAIL 1/A5.1. NEATLY INSTALL SEALANT JOINTS AT ALL EXPOSED FLASHINGS. CONCEAL SEALANT WHERE SHOWN ON DRAWINGS, AND TO THE GREATEST EXTENT POSSIBLE.
10. ALL ITEMS MOUNTED TO THE BUILDING FACADE MAY NOT BE SHOWN. REMOVE AND REINSTALL ALL SUCH ITEMS IN ACCORDANCE WITH THE COATING OR EIFS MANUFACTURER'S RECOMMENDATIONS AND APPROVED SHOP DRAWINGS. WHERE IMPRACTICAL TO REMOVE ITEMS, PROVIDE DETAILED SHOP DRAWINGS FOR EIFS INSTALLATION AROUND THESE ITEMS TO ENSURE LEAKPROOF PERFORMANCE.
11. ALL EIFS INSULATION BOARDS MUST BE BACK-WRAPPED BEFORE APPLICATION TO THE BUILDING TO ENSURE THAT REINFORCING MESH IS FULLY ENCAPSULATED IN BASE COAT.
12. INSTALL ULTRA-HIGH IMPACT RESISTANT EIFS WITHIN ONE FLOOR OF GRADE AND WALKING SURFACES. INSTALL STANDARD IMPACT RESISTANT EIFS AT ALL OTHER LOCATIONS.
13. INSTALL HORIZONTAL EXPANSION JOINTS IN NEW EIFS AT EACH FLOOR LEVEL IN ACCORDANCE WITH DETAIL 13/A5.1.
14. INSTALL VERTICAL EXPANSION JOINTS IN NEW EIFS WHERE REQUIRED BY EIFS MANUFACTURER IN ACCORDANCE WITH DETAIL 15/A5.1.
15. REPAIR DAMAGED CONCRETE AT WALKWAY EDGES IN ACCORDANCE WITH WORK CODE R1C (DETAIL 2/A5.1).
16. REPAIR DAMAGED TOP/HORIZONTAL CONCRETE IN ACCORDANCE WITH WORK CODE R2C (DETAIL 3/A5.1).
17. REPAIR DAMAGED VERTICAL/OVERHEAD CONCRETE IN ACCORDANCE WITH WORK CODE R3C (DETAIL 4/A5.1).
18. REPAIR DAMAGED STUCCO IN ACCORDANCE WITH WORK CODE R1ST (DETAILS 7/A5.1 AND 8/A5.1).
19. TERMINATE NEW EIFS IN ACCORDANCE WITH DETAILS 12/A5.1, 14/A5.1, 16/A5.1, 17/A5.1, AND 18/A5.1.
20. COAT CONCRETE WALKING SURFACES WITH A URETHANE WATERPROOFING MEMBRANE, WHERE INDICATED.
21. COAT ALL OVERHEAD CONCRETE SURFACES AND SLAB EDGES WITH BREATHABLE ACRYLIC COATING, WHERE INDICATED.
22. COAT STUCCO WALLS WITH SILICONE ELASTOMERIC COATING, WHERE INDICATED.



**1 SECTION A-A**  
A3.2 1/8" = 1'-0"

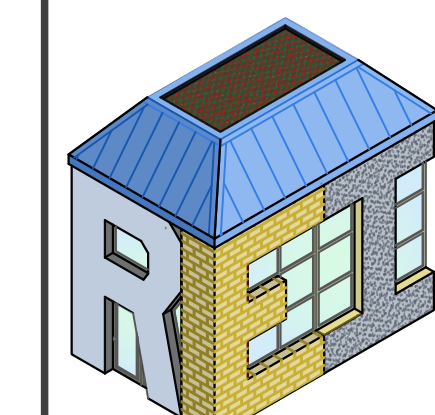


**2 SECTION B-B**  
A3.2 1/8" = 1'-0"



#	DATE	SUBMISSION/REVISION
01	05/25/2018	BID SET
02	06/13/2018	ADDENDUM 03 REVISIONS
03	09/24/2018	REVISED BID SET

**FACADE RESTORATION**  
OCEAN PLACE CONDOMINIUM  
14500 WIGHT STREET  
OCEAN CITY, MARYLAND 21842



**RESTORATION ENGINEERING, INC.**  
19200 WOODBINE DRIVE, SUITE 4  
FARMERSVILLE, VA 22030  
ELEVATIONS  
09/24/18 REV. BID SET  
REV. MACAS NOTED  
342.004

- PHASE 1**
- REMOVE EXISTING EIFS, WINDOWS, AND RAILINGS.
  - REPLACE ALL SEALANT JOINTS.
  - REMOVE ALL BALCONY & WINDOW SHUTTERS. DO NOT REMOVE SLIDING GLASS DOOR SHUTTERS.
  - REMOVE ALL TILE GROUT AND SETTING BED COVERING CONCRETE BALCONIES.
  - REPAIR/REPLACE DETERIORATED STUCCO INSIDE BALCONY AREAS.
  - INSTALL SILICONE ELASTOMERIC COATING TO ALL STUCCO WALLS.
  - INSTALL NEW DRAINABLE EIFS WITH SECONDARY BARRIER AT ALL WALLS, EXCEPT INSIDE BALCONY AREAS. AT NORTH & SOUTH ELEVATIONS, USE ULTRA-HIGH IMPACT MESH FROM GRADE TO 4TH FLOOR LINE.
  - INSTALL NEW COMBINATION (OPERABLE-FIXED-OPERABLE), ALUMINUM WINDOWS WITH STANDARD GLAZING (EXCEPT TEMPERED WHERE REQUIRED). SEE SPECIFICATION SECTION 085113-ALUMINUM WINDOWS.
  - FULLY REMOVE EXISTING DECK COATINGS.
  - REPAIR CONCRETE BALCONIES AND SUPPORTING CONCRETE BEAMS.
  - INSTALL A URETHANE TRAFFIC COATING TO WALKING SURFACE OF ALL BALCONIES.
  - INSTALL A BREATHABLE ACRYLIC COATING TO EDGES AND UNDERSIDES OF ALL BALCONIES AND SUPPORTING BEAMS.
  - INSTALL NEW ALUMINUM RAILINGS.
  - INSTALL NEW LIGHT FIXTURES.
  - INSTALL NEW FOUNDATION VENTS.
  - ADD ALTERNATE 1A: INSTALL IMPACT RESISTANT GLAZING IN ALL WINDOWS IN LIEU OF STANDARD GLAZING.
  - ADD ALTERNATE 1B: INSTALL NEW ALUMINUM, VERTICAL ROLLING, HURRICANE SHUTTERS AT NEW WINDOWS AND SLIDING GLASS DOORS ON A UNIT PRICE BASIS.
  - ADD ALTERNATE 1C: INSTALL NEW ALUMINUM, SLIDING GLASS DOORS AT BALCONIES ON A UNIT PRICE BASIS.
  - ADD ALTERNATE 1E: INSTALL NEW ALUMINUM BALCONY SHUTTERS AT EDGES OF BALCONIES ON A UNIT PRICE BASIS.
  - ADD ALTERNATE 1F: INSTALL NEW FIBERGLASS AIR CONDITIONING SLEEVES WITH STAINLESS STEEL GRILLS AND MATCHING FIBERGLASS OFF-SEASON COVERS.

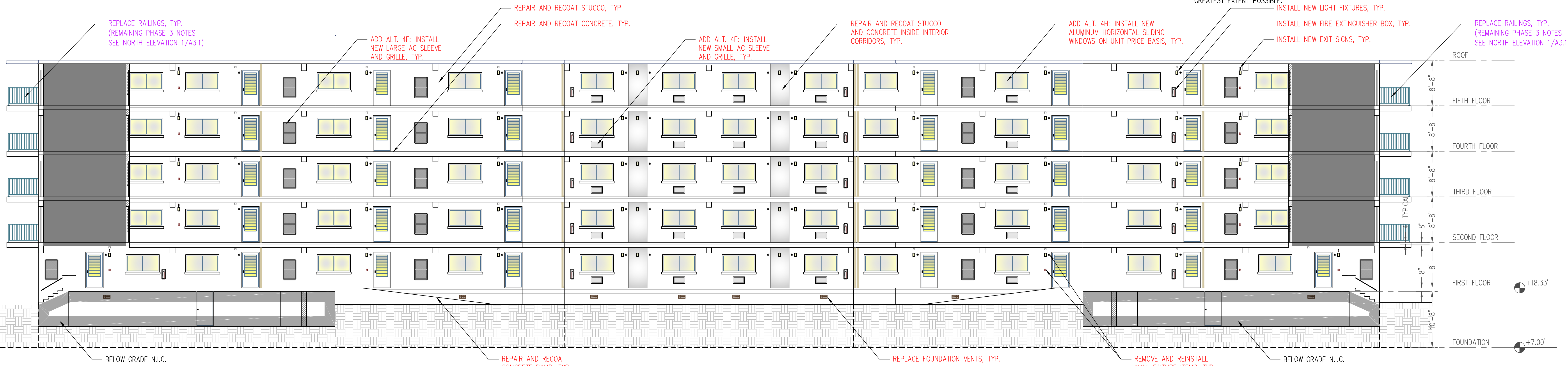
- PHASE 2**
- REMOVE EXISTING EIFS, WINDOWS, AND STAIR RAILINGS.
  - REPLACE ALL SEALANT JOINTS.
  - REPAIR/REPLACE DETERIORATED STUCCO INSIDE STAIRWAY SHEAR WALLS ONLY.
  - INSTALL SILICONE ELASTOMERIC COATING TO ALL STUCCO WALLS.
  - INSTALL NEW DRAINABLE EIFS WITH SECONDARY BARRIER AT ALL WALLS, EXCEPT INSIDE WEST STAIRS. AT THE WEST ELEVATION, SOUTH ELEVATION OF THE NORTH STAIR TOWER, AND NORTH ELEVATION OF THE SOUTH STAIR TOWER, USE ULTRA-HIGH IMPACT MESH FROM GRADE TO 4TH FLOOR LINE.
  - INSTALL TWO NEW EIFS BUILDING SIGNS.
  - INSTALL NEW HORIZONTAL SLIDING, ALUMINUM WINDOWS WITH STANDARD GLAZING (EXCEPT TEMPERED WHERE REQUIRED). SEE SPECIFICATION SECTION 085113-ALUMINUM WINDOWS.
  - FULLY REMOVE EXISTING COATING ON SURFACE OF STAIRS AND LANDINGS (IF ANY).
  - REPAIR CONCRETE STAIRS AND LANDINGS.
  - INSTALL A URETHANE TRAFFIC COATING TO WALKING SURFACE OF ALL STAIRS AND LANDINGS, INCLUDING STAIR RISERS.
  - INSTALL A BREATHABLE ACRYLIC COATING TO EDGES AND UNDERSIDES OF ALL STAIRS AND LANDINGS.
  - INSTALL NEW ALUMINUM RAILINGS AT STAIR FLIGHTS AND LANDINGS.
  - ADD ALTERNATE 2A: INSTALL IMPACT RESISTANT GLAZING IN ALL WINDOWS IN LIEU OF STANDARD GLAZING.
  - ADD ALTERNATE 2B: INSTALL NEW ALUMINUM, VERTICAL ROLLING, HURRICANE SHUTTERS AT NEW WINDOWS ON A UNIT PRICE BASIS.

- PHASE 3**
- REMOVE EXISTING RAILINGS.
  - REPLACE ALL SEALANT JOINTS.
  - REPAIR/REPLACE DETERIORATED STUCCO WALLS.
  - INSTALL SILICONE ELASTOMERIC COATING TO ALL STUCCO WALLS.
  - FULLY REMOVE EXISTING DECK COATINGS.
  - REPAIR CONCRETE BALCONIES AND SUPPORTING CONCRETE BEAMS.
  - INSTALL A URETHANE TRAFFIC COATING TO WALKING SURFACE OF ALL BALCONIES.
  - INSTALL A BREATHABLE ACRYLIC COATING TO EDGES AND UNDERSIDES OF ALL BALCONIES AND SUPPORTING BEAMS.
  - INSTALL NEW ALUMINUM RAILINGS AND BALCONY DIVIDERS.
  - INSTALL NEW LIGHT FIXTURES.
  - INSTALL NEW FOUNDATION VENTS.
  - ADD ALTERNATE 3C: INSTALL NEW ALUMINUM, SLIDING GLASS DOORS AT BALCONIES ON A UNIT PRICE BASIS.
  - ADD ALTERNATE 3D: INSTALL NEW ALUMINUM, VERTICAL ROLLING, HURRICANE SHUTTERS AT DOORS (NEW OR EXISTING) ON A UNIT PRICE BASIS.
  - ADD ALTERNATE 3E: INSTALL NEW DRAINABLE EIFS WITH SECONDARY BARRIER AT ALL WALLS.

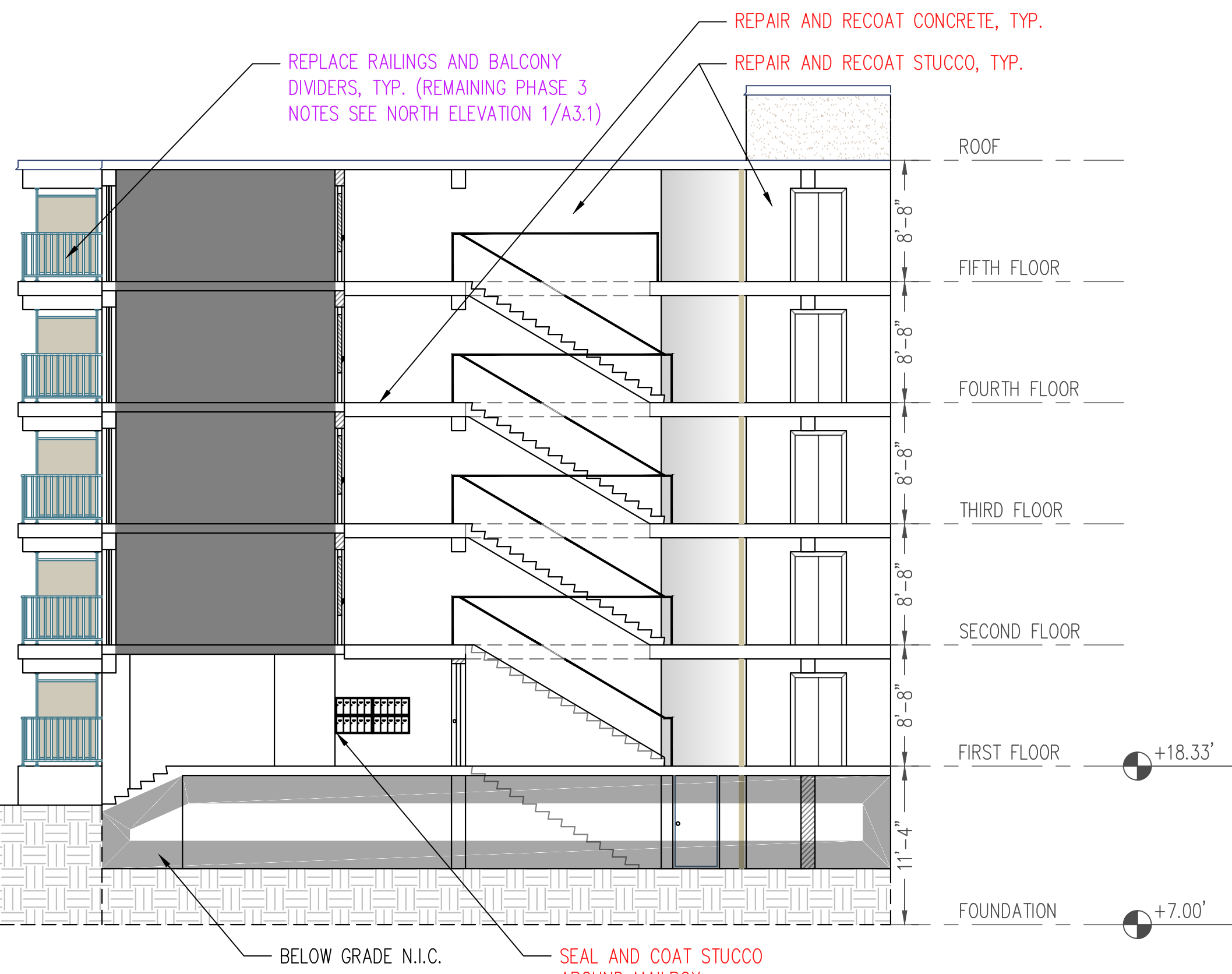
- PHASE 4**
- REMOVE EXISTING RAILINGS.
  - REPLACE ALL SEALANT JOINTS.
  - REPAIR/REPLACE DETERIORATED STUCCO WALLS, INCLUDING BUILDING WALLS INSIDE WEST STAIRWAYS AND WALKWAY SIDES OF BOTH ELEVATOR TOWERS.
  - INSTALL SILICONE ELASTOMERIC COATING TO ALL STUCCO WALLS INCLUDING PRIVATE WALKWAYS TO UNITS 01, 02, 03, 04, 09, 10, 11, 12, 17, 18, 19, AND 20.
  - INSTALL NEW DRAINABLE EIFS WITH SECONDARY BARRIER AT SOUTH AND WEST WALLS OF NORTH ELEVATOR TOWER, AND NORTH AND WEST WALLS OF SOUTH ELEVATOR TOWER. ABOVE THE ROOF LINE, INSTALL EIFS ON ALL FOUR SIDES OF BOTH TOWERS.
  - FULLY REMOVE EXISTING DECK COATINGS.
  - REPAIR CONCRETE WALKWAYS, RAMPS, EAST STAIRWAYS AND SUPPORTING CONCRETE BEAMS.
  - INSTALL A URETHANE TRAFFIC COATING TO WALKING SURFACE OF ALL BALCONIES, WALKWAYS, RAMPS, AND EAST STAIRWAYS.
  - INSTALL A BREATHABLE ACRYLIC COATING TO EDGES AND UNDERSIDES OF ALL WALKWAYS, STAIRS AND SUPPORTING BEAMS.
  - INSTALL NEW ALUMINUM RAILINGS.
  - REMOVE AND REINSTALL UNIT IDENTIFICATION PLACARDS.
  - INSTALL NEW LIGHT FIXTURES, EXIT SIGNS, AND FIRE EXTINGUISHER BOXES.
  - INSTALL NEW FOUNDATION VENTS.
  - ADD ALTERNATE 4E: INSTALL NEW FIBERGLASS AIR CONDITIONING SLEEVES WITH STAINLESS STEEL GRILLS AND MATCHING FIBERGLASS OFF-SEASON COVERS.
  - ADD ALTERNATE 4H: INSTALL NEW ALUMINUM, HORIZONTAL SLIDING WINDOWS AT WALKWAYS ON A UNIT PRICE BASIS.

**GENERAL NOTES**

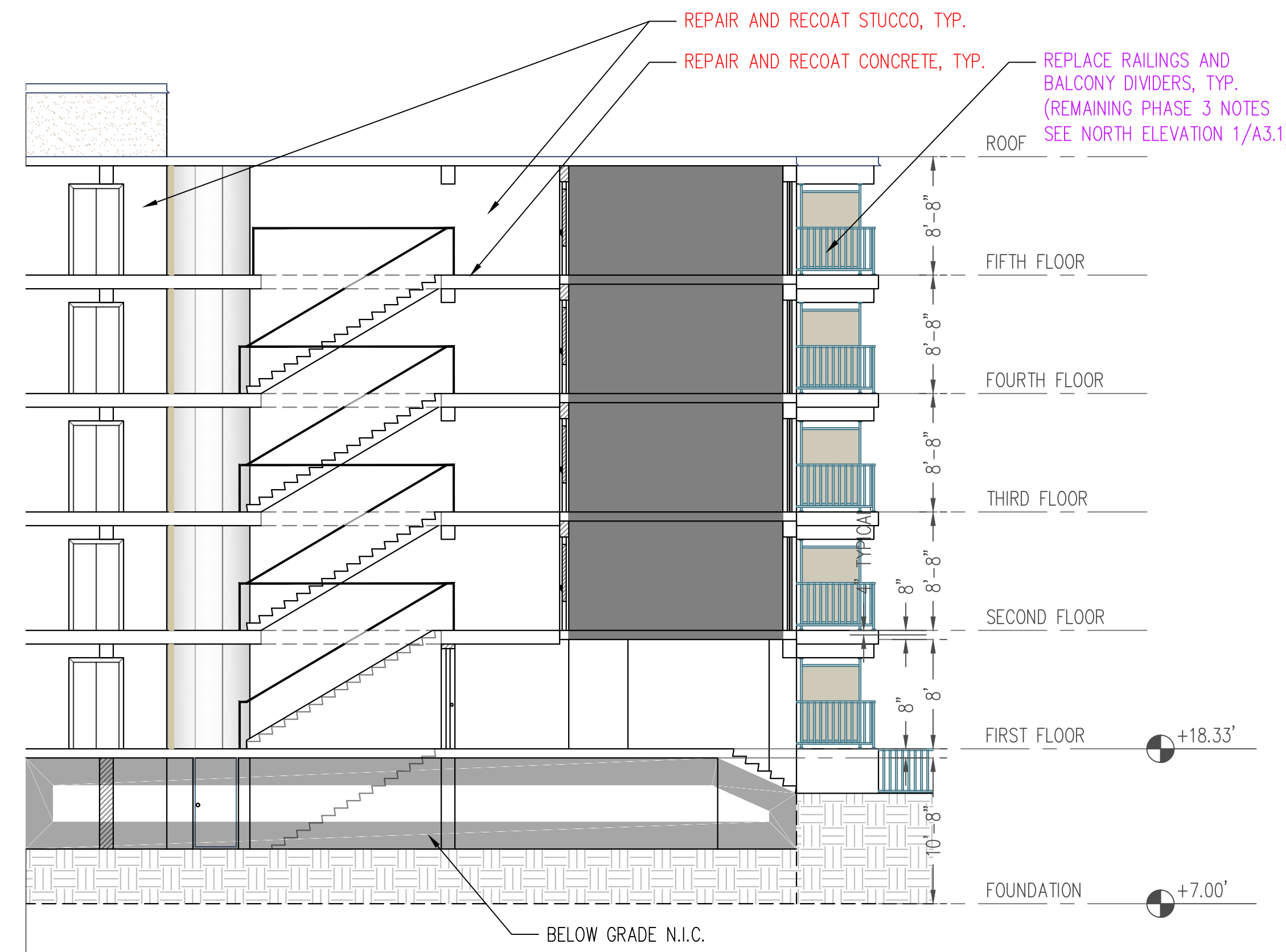
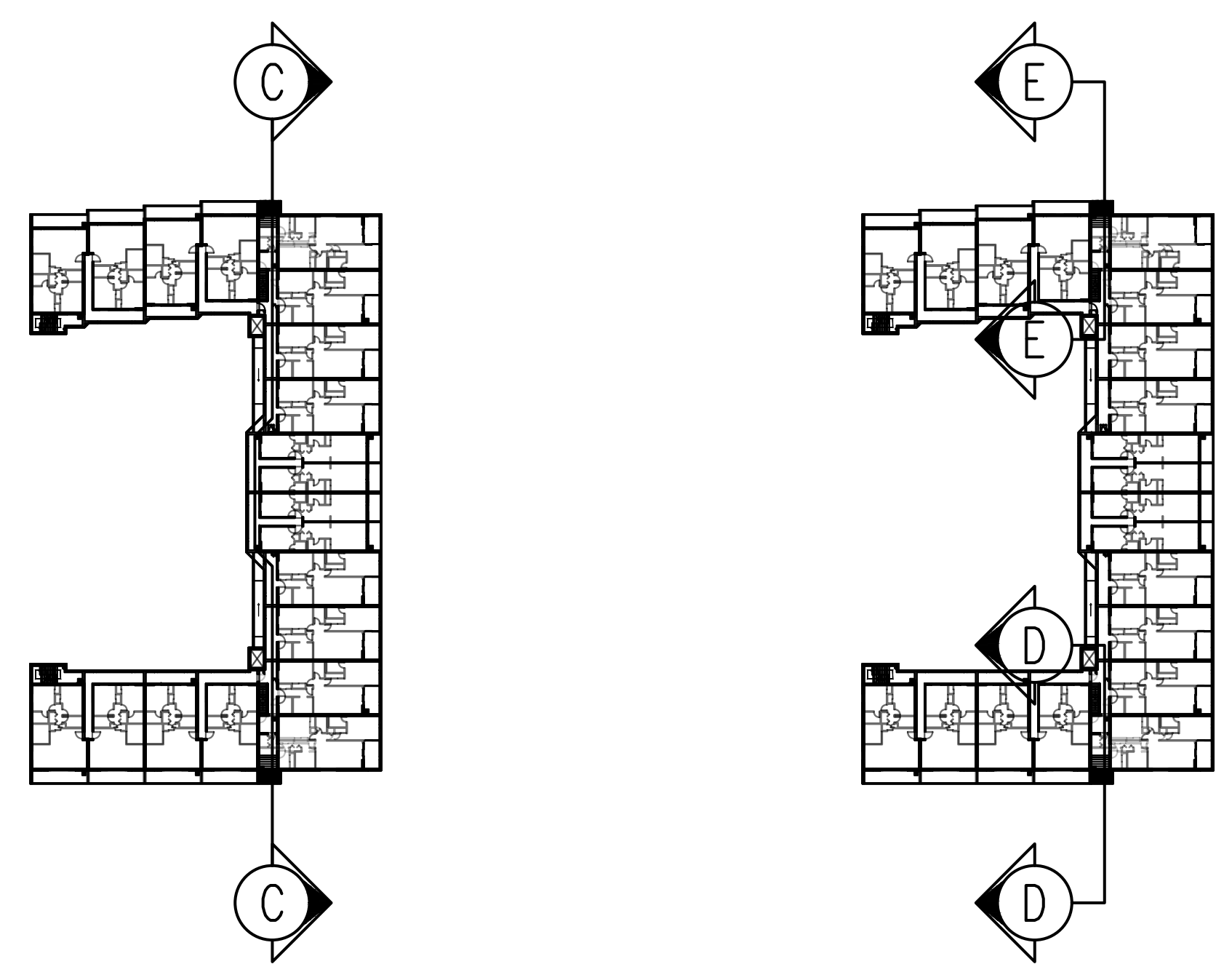
- ALL ITEMS LABELED "EXISTING" OR "EXISTING TO REMAIN" CONSTITUTE EXISTING CONSTRUCTION THAT SHALL REMAIN IN PLACE UNDISTURBED. UNLESS OTHERWISE NOTED, ALL OTHER ITEMS ARE TO BE INSTALLED NEW BY THE CONTRACTOR.
- CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS. NOTIFY ENGINEER IMMEDIATELY IF ACTUAL DIMENSIONS VARY FROM THOSE SHOWN ON THESE DRAWINGS.
- COLORS SHOWN ON DRAWINGS ARE REPRESENTATIVE. COLORS AND TEXTURES ARE TO BE SELECTED BY OWNER.
- ALL FASTENERS/HARDWARE SECURING OR PENETRATING TREATED WOOD SHALL BE STAINLESS STEEL.
- SIZE OF SHEET METAL FABRICATIONS SHOWN ARE NOMINAL AND MAY VARY. CONTRACTOR MUST FIELD MEASURE AT EACH LOCATION AND CUSTOM FABRICATE FLASHINGS TO ENSURE AN ACCURATE FIT. DIFFERENT SIZES WILL BE REQUIRED FOR FLASHINGS THAT MAY APPEAR TO BE SIMILAR.
- HEM ALL EXPOSED CUT EDGES OF SHEET METAL FLASHINGS, ESPECIALLY WHERE THESE ITEMS ARE EXPOSED TO BUILDING RESIDENTS. PROPERLY PREPARE AND PAINT STAINLESS STEEL FLASHINGS IN THE SHOP TO THE GREATEST EXTENT POSSIBLE, WHERE REQUIRED.
- ALL EXTERIOR SEALANT IS TO BE REMOVED AND REPLACED PRIOR TO INSTALLING NEW EIFS. TYPICAL JOINTS TO BE RESEALED INCLUDE, BUT ARE NOT LIMITED TO: HORIZONTAL AND VERTICAL MASONRY CONTROL JOINTS; PERIMETERS OF WINDOWS, DOORS, AND OTHER LOCATIONS. SEE DETAILS FOR FURTHER INFORMATION.
- JOINTS TO BE RE-SEALED WILL REQUIRE FULL REMOVAL OF EXISTING SEALANT, BACKER ROD AND OTHER MATERIAL FROM WITHIN THE JOINTS. PRIOR TO INSTALLATION OF NEW MATERIALS, VERIFY THAT ALL JOINTS ARE CLEARED AND THE SURFACES PREPARED IN ACCORDANCE WITH THE SEALANT MANUFACTURER'S GUIDELINES.
- INSTALL SEALANT JOINTS IN ACCORDANCE WITH DETAIL 1/A5.1.
- NEATLY INSTALL SEALANT JOINTS AT ALL EXPOSED FLASHINGS. CONCEAL SEALANT WHERE SHOWN ON DRAWINGS, AND TO THE GREATEST EXTENT POSSIBLE.
- INSTALL NEW LIGHT FIXTURES, TYP.
- INSTALL NEW FIRE EXTINGUISHER BOX, TYP.
- INSTALL NEW EXIT SIGNS, TYP.
- REPLACE RAILINGS, TYP. (REMAINING PHASE 3 NOTES SEE NORTH ELEVATION 1/A3.1)
- ALL ITEMS MOUNTED TO THE BUILDING FACADE MAY NOT BE SHOWN. REMOVE AND REINSTALL ALL SUCH ITEMS IN ACCORDANCE WITH THE COATING OR EIFS MANUFACTURER'S RECOMMENDATIONS AND APPROVED SHOP DRAWINGS. WHERE IMPRACTICAL TO REMOVE ITEMS, PROVIDE DETAILED SHOP DRAWINGS FOR EIFS INSTALLATION AROUND THESE ITEMS TO ENSURE LEAKPROOF PERFORMANCE.
- ALL EIFS INSULATION BOARDS MUST BE BACK-WRAPPED BEFORE APPLICATION TO THE BUILDING TO ENSURE THAT REINFORCING MESH IS FULLY ENCAPSULATED IN BASE COAT.
- INSTALL ULTRA-HIGH IMPACT RESISTANT EIFS WITHIN ONE FLOOR OF GRADE AND WALKING SURFACES. INSTALL STANDARD IMPACT RESISTANT EIFS AT ALL OTHER LOCATIONS.
- INSTALL HORIZONTAL EXPANSION JOINTS IN NEW EIFS AT EACH FLOOR LEVEL IN ACCORDANCE WITH DETAIL 13/A5.1.
- INSTALL VERTICAL EXPANSION JOINTS IN NEW EIFS WHERE REQUIRED BY EIFS MANUFACTURER IN ACCORDANCE WITH DETAIL 15/A5.1.
- REPAIR DAMAGED CONCRETE AT WALKWAY EDGES IN ACCORDANCE WITH WORK CODE R1C (DETAIL 2/A5.1).
- REPAIR DAMAGED TOP/HORIZONTAL CONCRETE IN ACCORDANCE WITH WORK CODE R2C (DETAIL 3/A5.1).
- REPAIR DAMAGED VERTICAL/OVERHEAD CONCRETE IN ACCORDANCE WITH WORK CODE R3C (DETAIL 4/A5.1).
- REPAIR DAMAGED STUCCO IN ACCORDANCE WITH WORK CODE R1ST (DETAILS 7/A5.1 AND 8/A5.1).
- TERMINATE NEW EIFS IN ACCORDANCE WITH DETAILS 12/A5.1, 14/A5.1, 16/A5.1, 17/A5.1, AND 18/A5.1.
- COAT CONCRETE WALKING SURFACES WITH A URETHANE WATERPROOFING MEMBRANE, WHERE INDICATED.
- COAT ALL OVERHEAD CONCRETE SURFACES AND SLAB EDGES WITH BREATHABLE ACRYLIC COATING, WHERE INDICATED.
- COAT STUCCO WALLS WITH SILICONE ELASTOMERIC COATING, WHERE INDICATED.



1 SECTION C-C  
A3.3 1/8" = 1'-0"



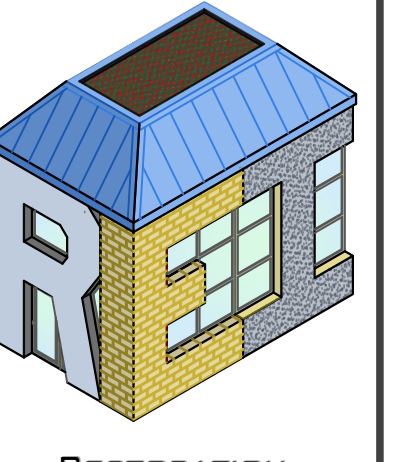
2 SECTION D-D  
A3.3 1/8" = 1'-0"



3 SECTION E-E  
A3.3 1/8" = 1'-0"

#	DATE	SUBMISSION/REVISION
01	05/25/2018	BID SET
02	06/13/2018	ADDENDUM 03 REVISIONS
03	09/24/2018	REVISED BID SET

**FACADE RESTORATION**  
OCEAN PLACE CONDOMINIUM  
14500 WIGHT STREET  
OCEAN CITY, MARYLAND 21842

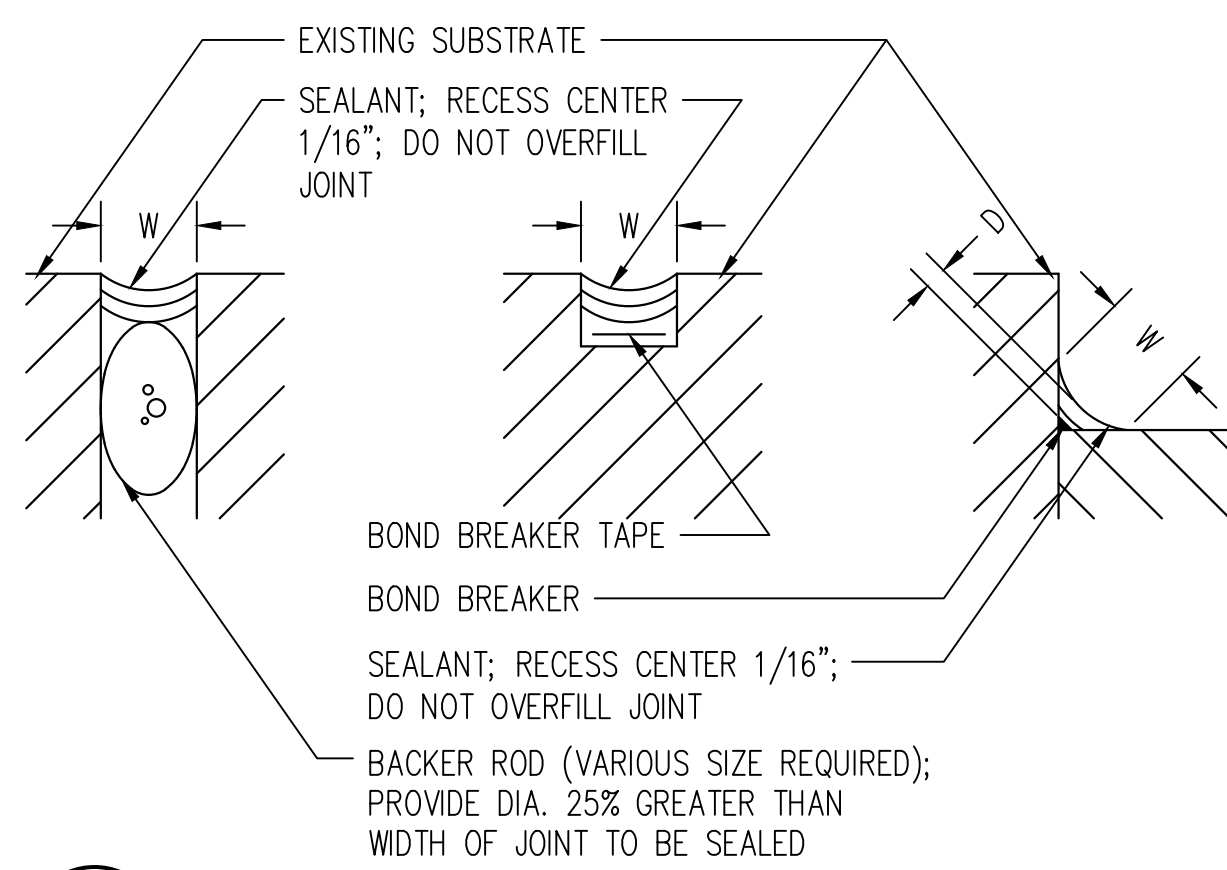


DATE	BY	REVISION
09/24/18	MAC	REV. BID SET
09/24/18	MAC	AS NOTED
09/24/18	MAC	342.004

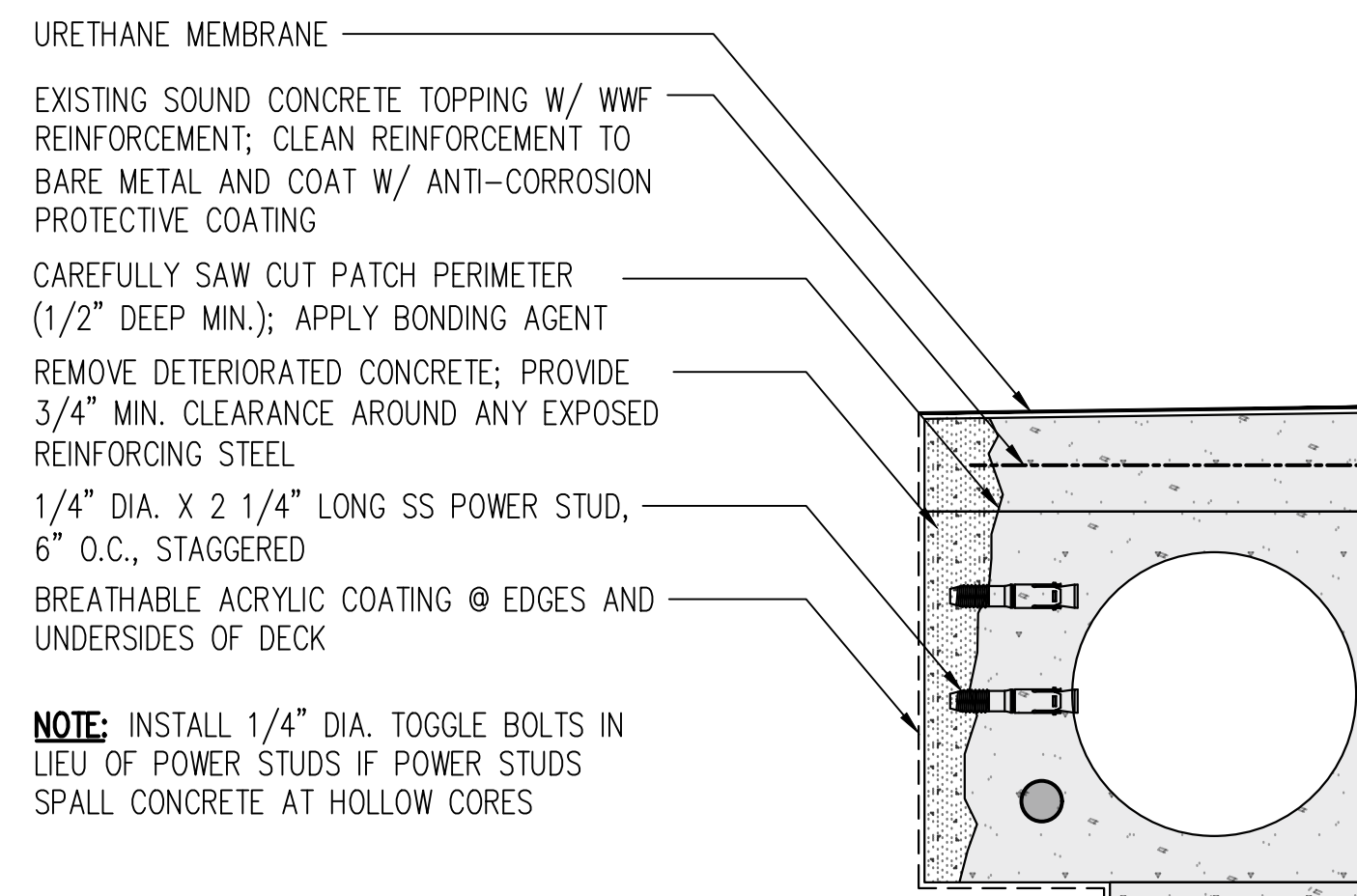
**A-3.3**  
6 OF 9

JOINT WIDTH (W) IN INCHES	JOINT DEPTH (D) IN INCHES
1/4	1/8
3/8	3/16
1/2	1/4
5/8	5/16
3/4	3/8
7/8	7/16
1	1/2

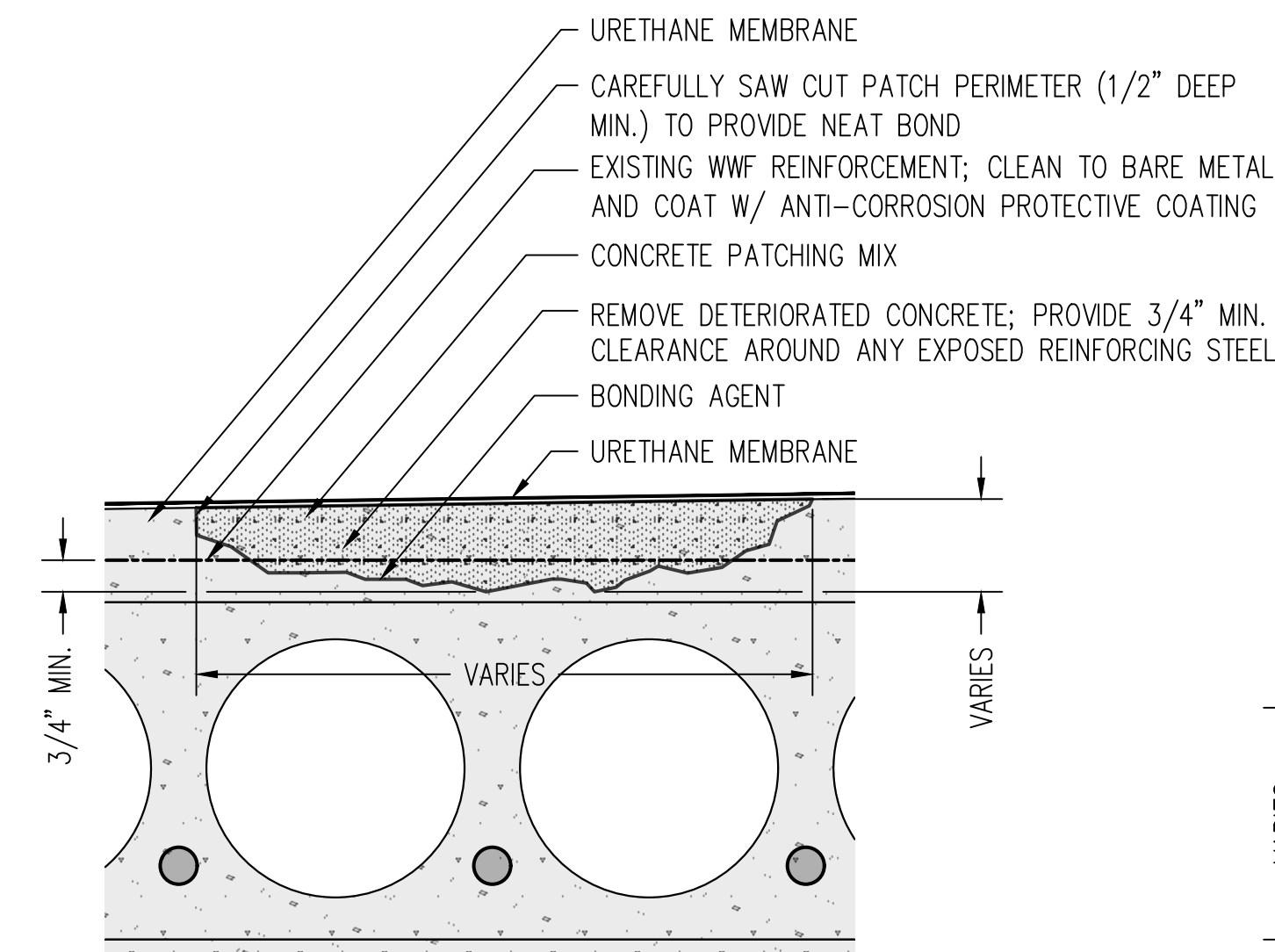
**NOTE:** RESEAL ALL EXISTING JOINTS AS PART OF BASE BID WORK. USE SILICONE SEALANT WHERE JOINTS ARE ADJACENT TO, OR COVERED BY, SILICONE COATINGS. USE POLYURETHANE SEALANT WHERE JOINTS ARE ADJACENT TO OR COVERED BY URETHANE COATINGS.



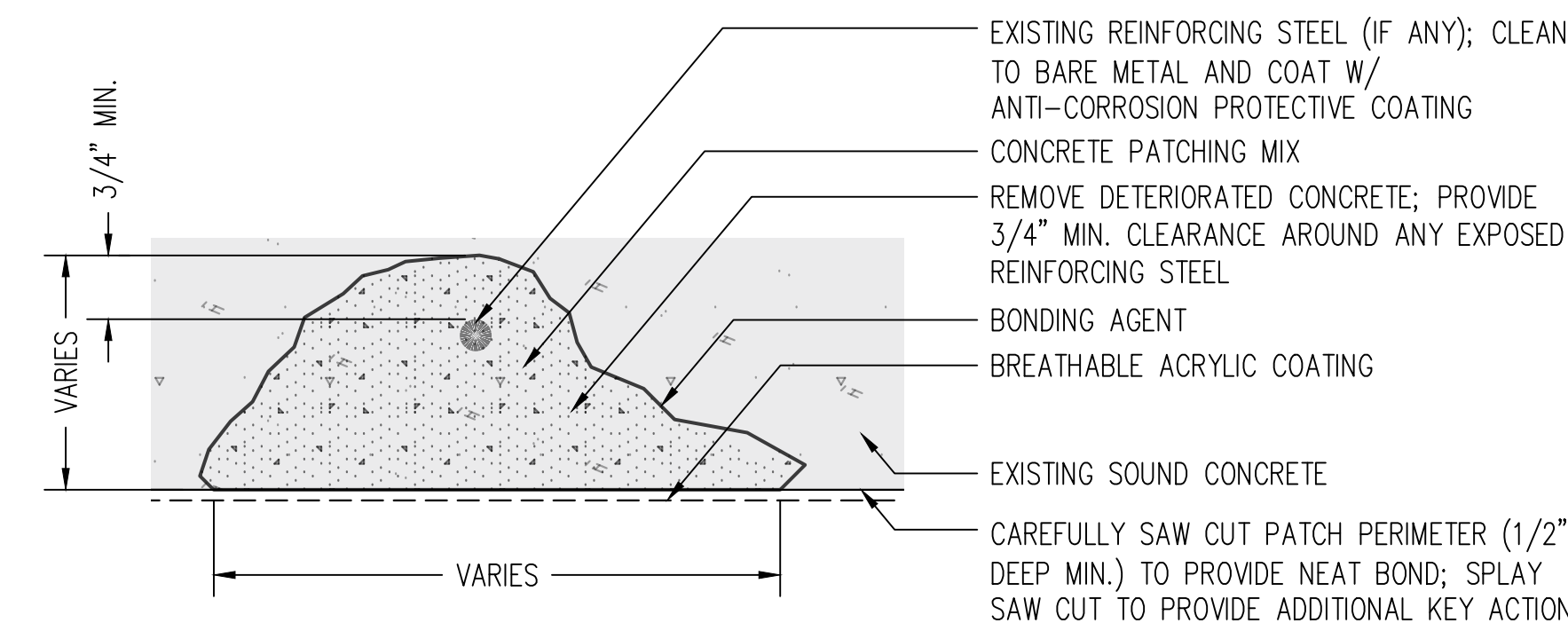
**1 SEALANT DETAILS**  
A5.1 NO SCALE



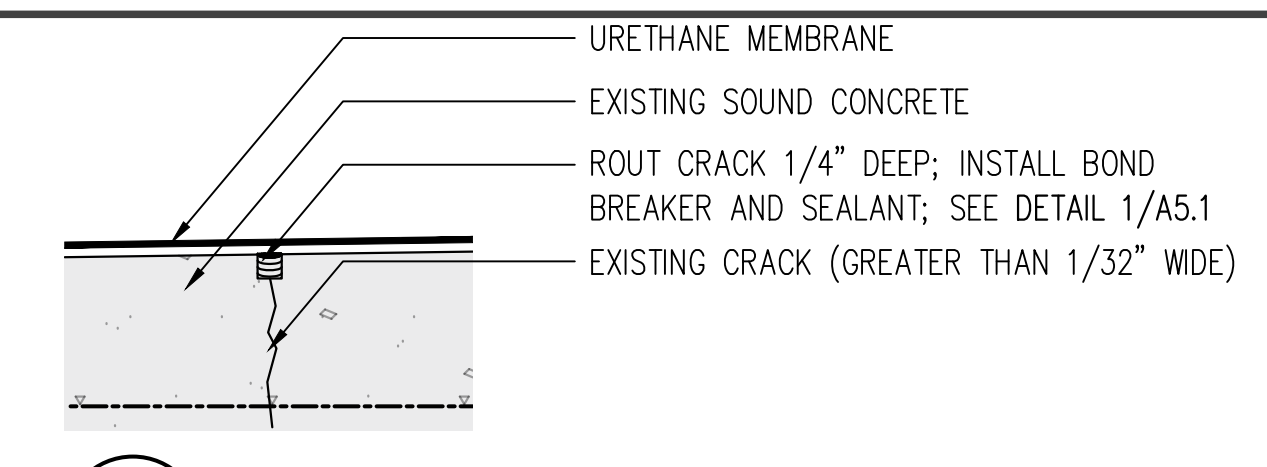
**2 BALCONY/WALKWAY EDGE REPAIR DETAIL (R1C)**  
A5.1 3\"/>



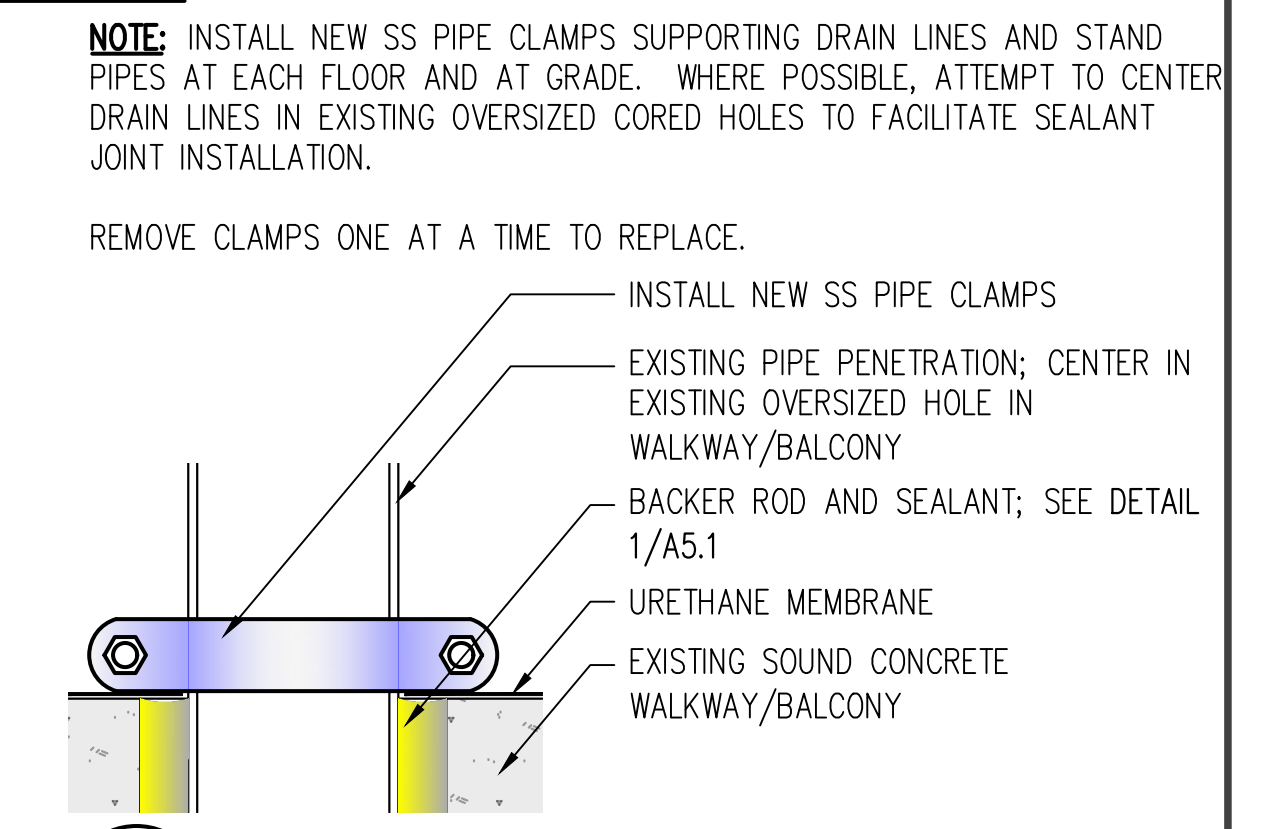
**3 SURFACE REPAIR DETAIL (R2C)**  
A5.1 3\"/>



**4 CONCRETE VERTICAL/OVERHEAD REPAIR DETAIL (R3C)**  
A5.1 HALF SIZE

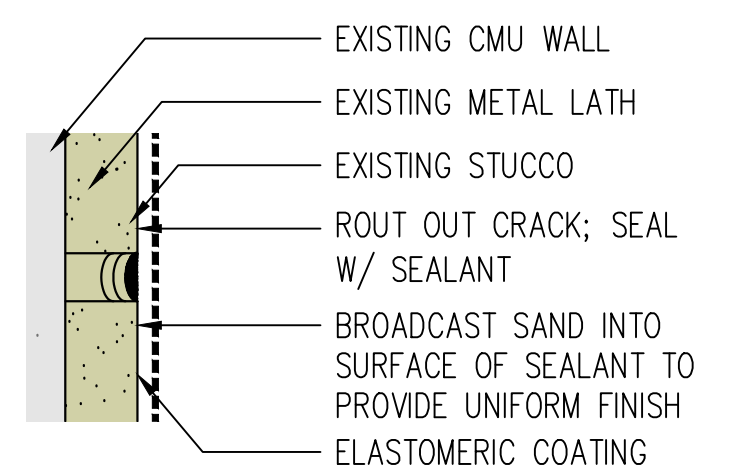


**5 CONCRETE CRACK REPAIR DETAIL**  
A5.1 HALF SIZE

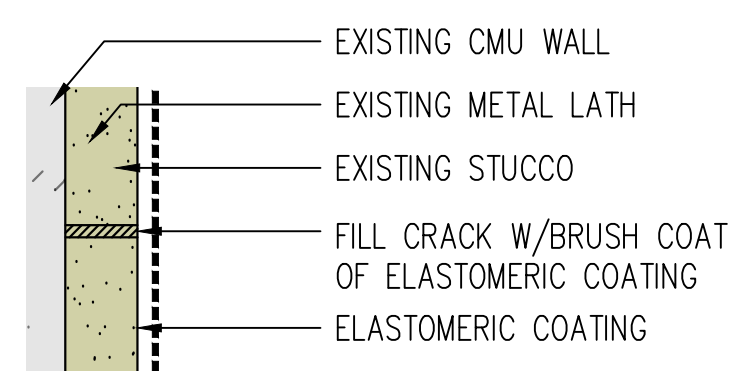


**6 PIPE PENETRATION DETAIL**  
A5.1 3\"/>

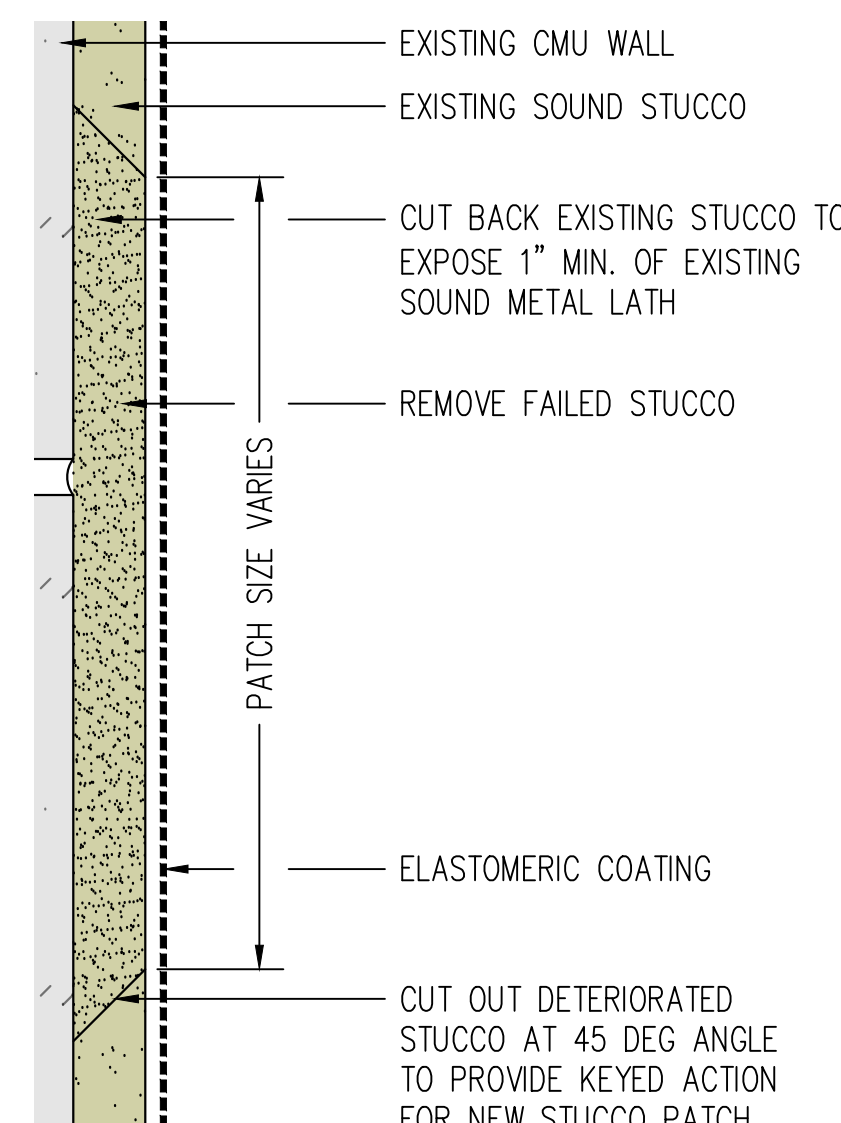
**NOTE:** SEE DETAIL 1/A5.1 FOR SEALANT WIDTH-TO-DEPTH RATIOS.



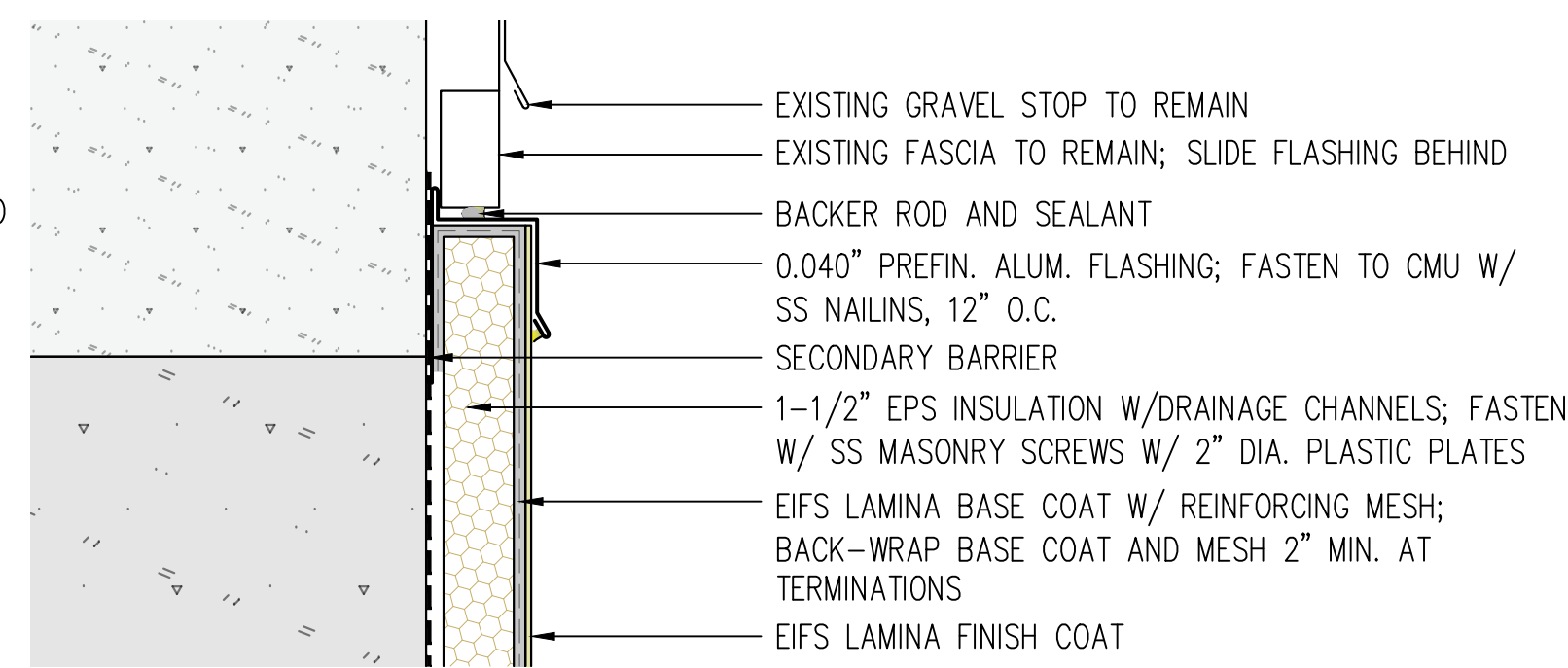
**7 STUCCO CRACK REPAIR DETAIL**  
A5.1 HALF SIZE



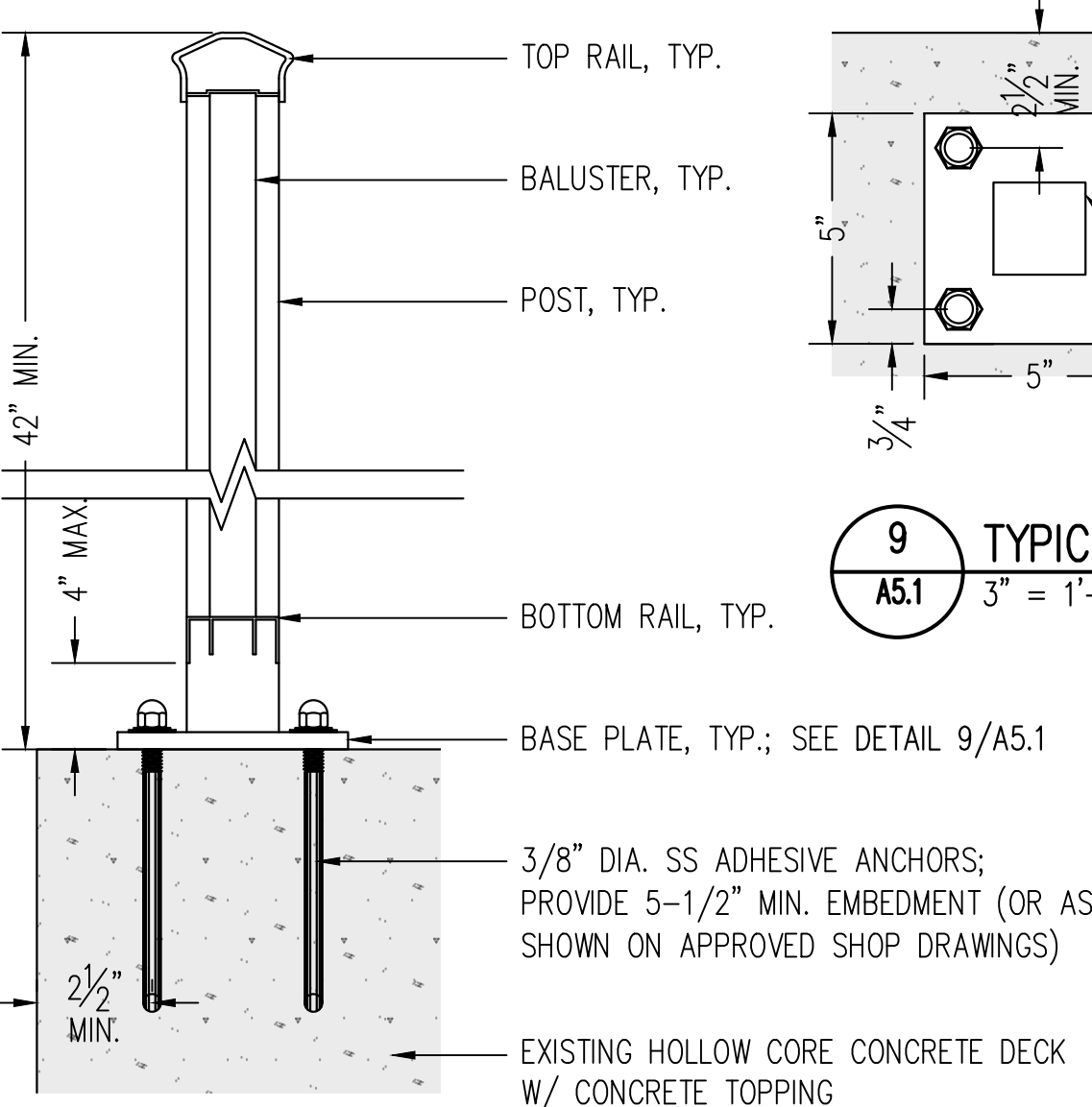
**8 STUCCO PATCH DETAIL (R1ST)**  
A5.1 HALF SIZE



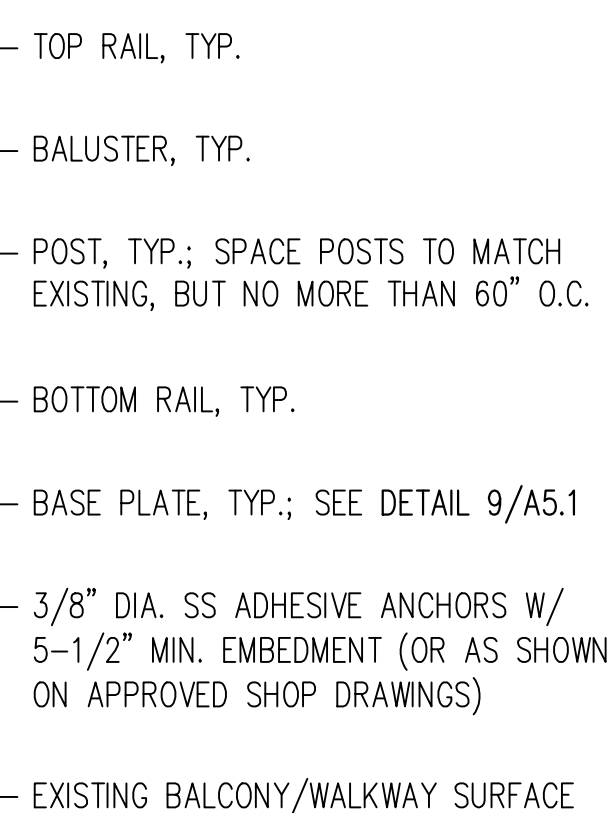
**9 TYPICAL RAILING BASE PLATE**  
A5.1 3\"/>



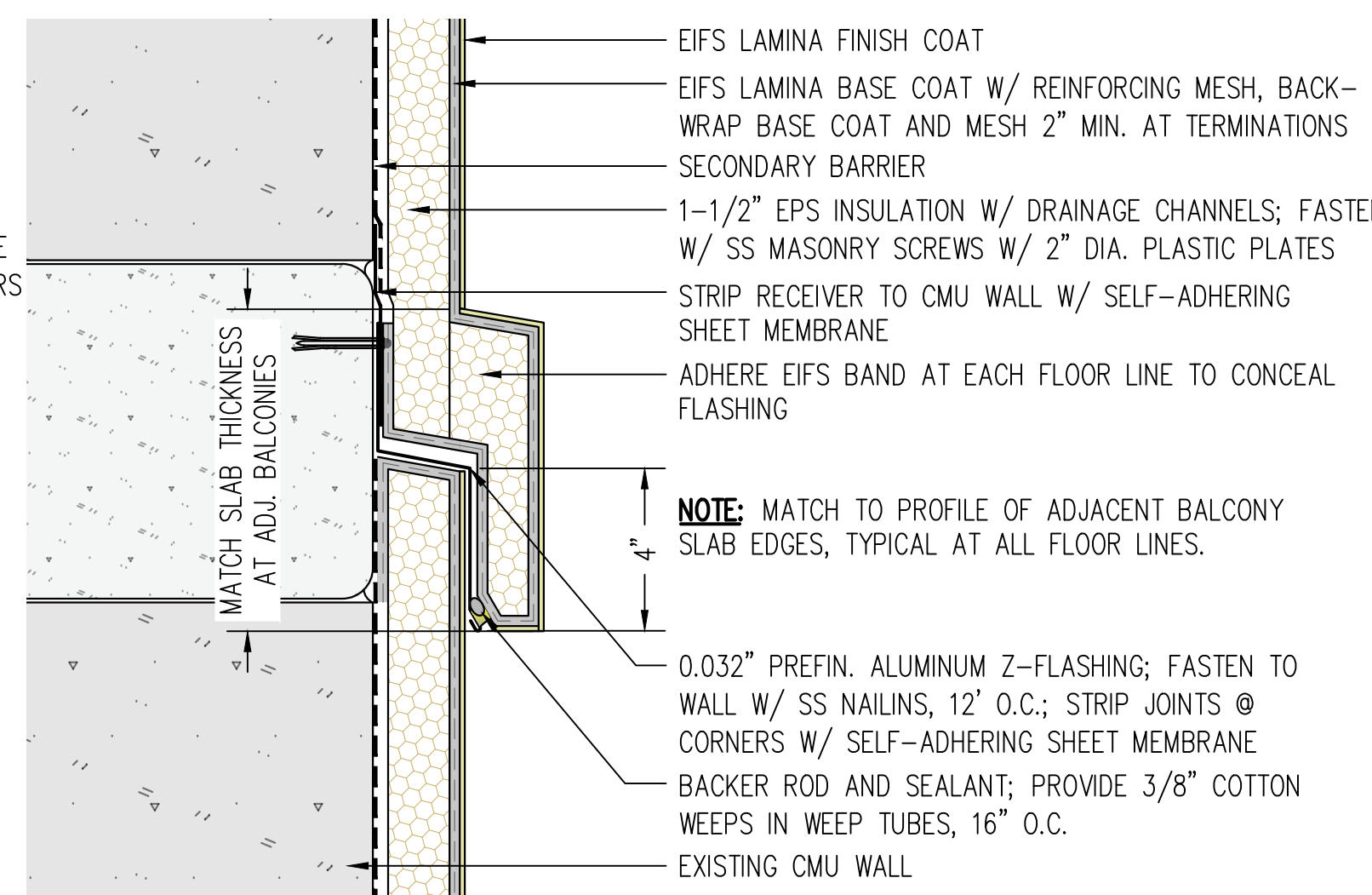
**10 TYPICAL 2-LINE RAILING SECTION**  
A5.1 3\"/>



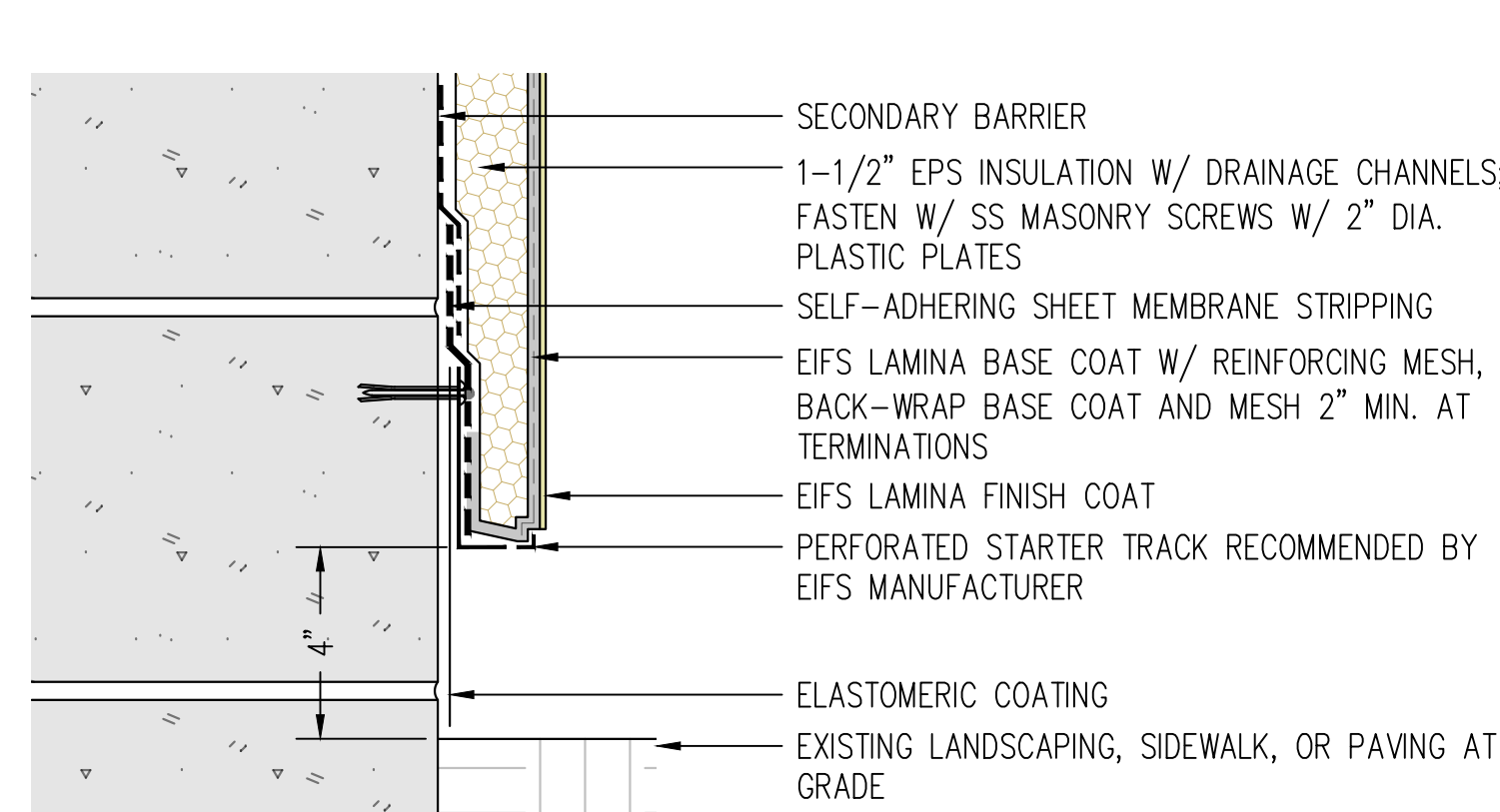
**11 NEW RAILING ELEVATION**  
A5.1 3/4\"/>



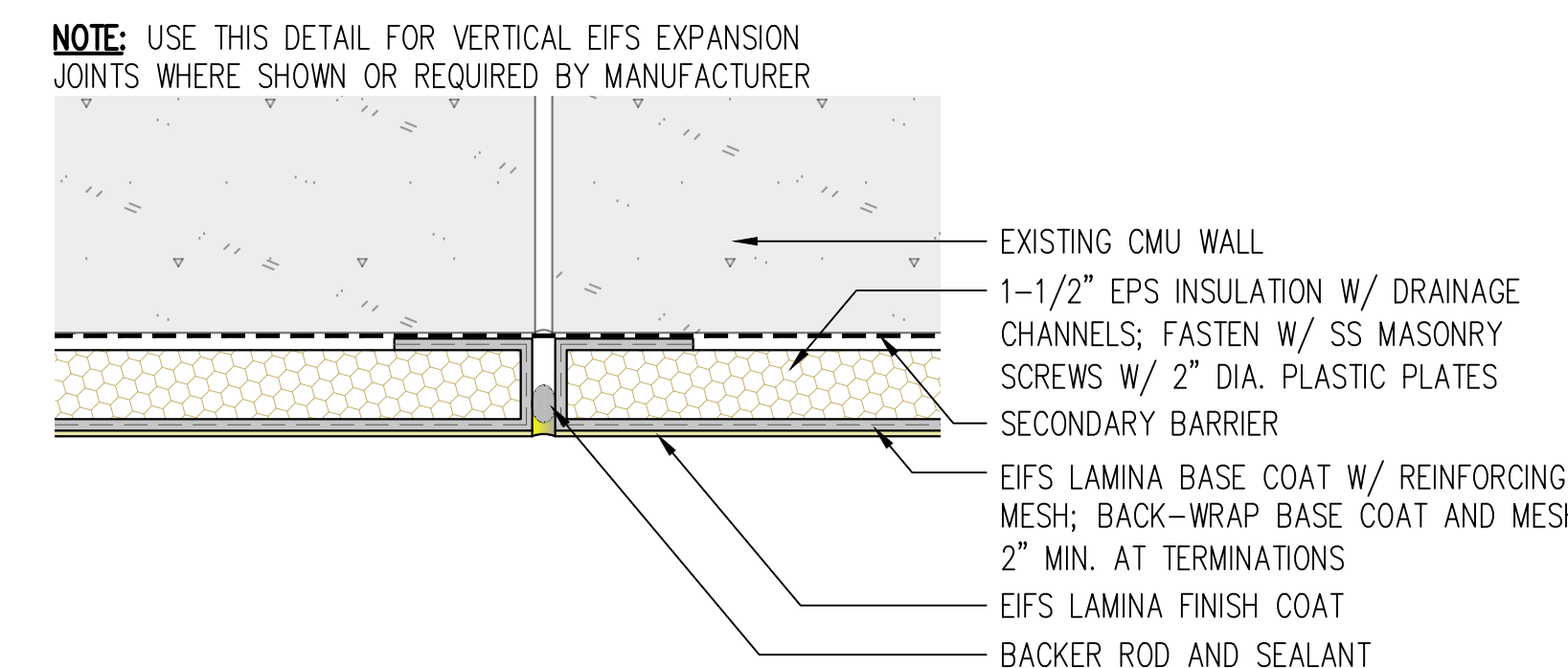
**12 EIFS TOP TERMINATION DETAIL**  
A5.1 3\"/>



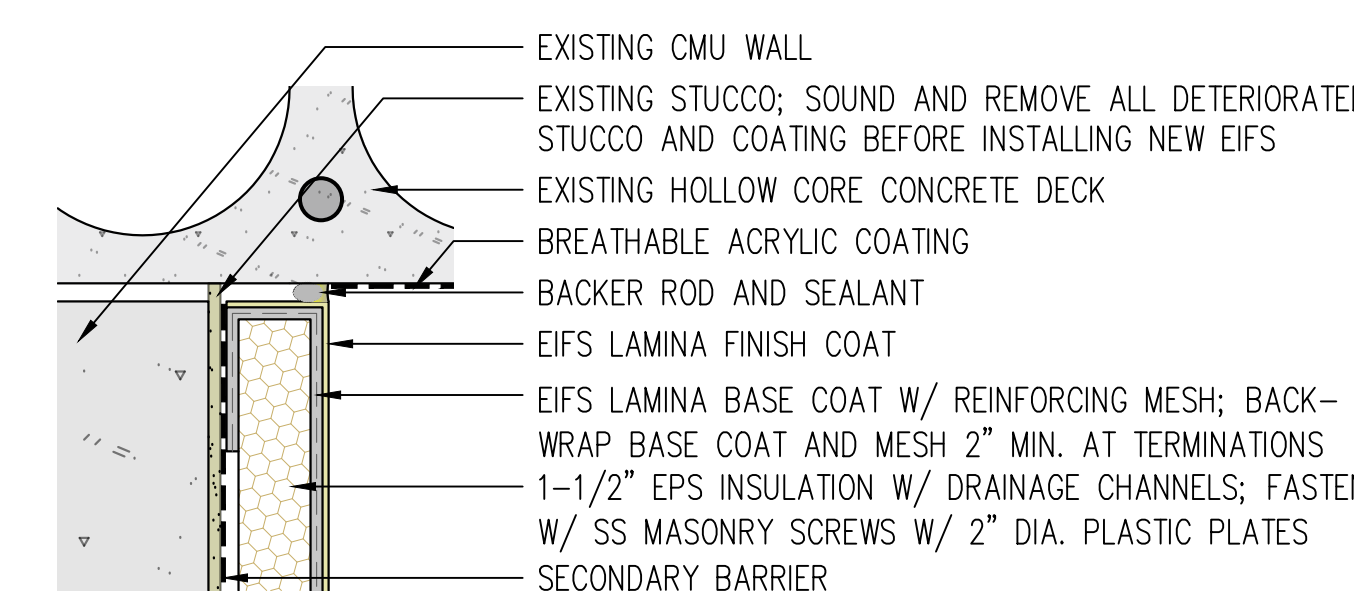
**13 EIFS HORIZONTAL EXPANSION JOINT DETAIL**  
A5.1 3\"/>



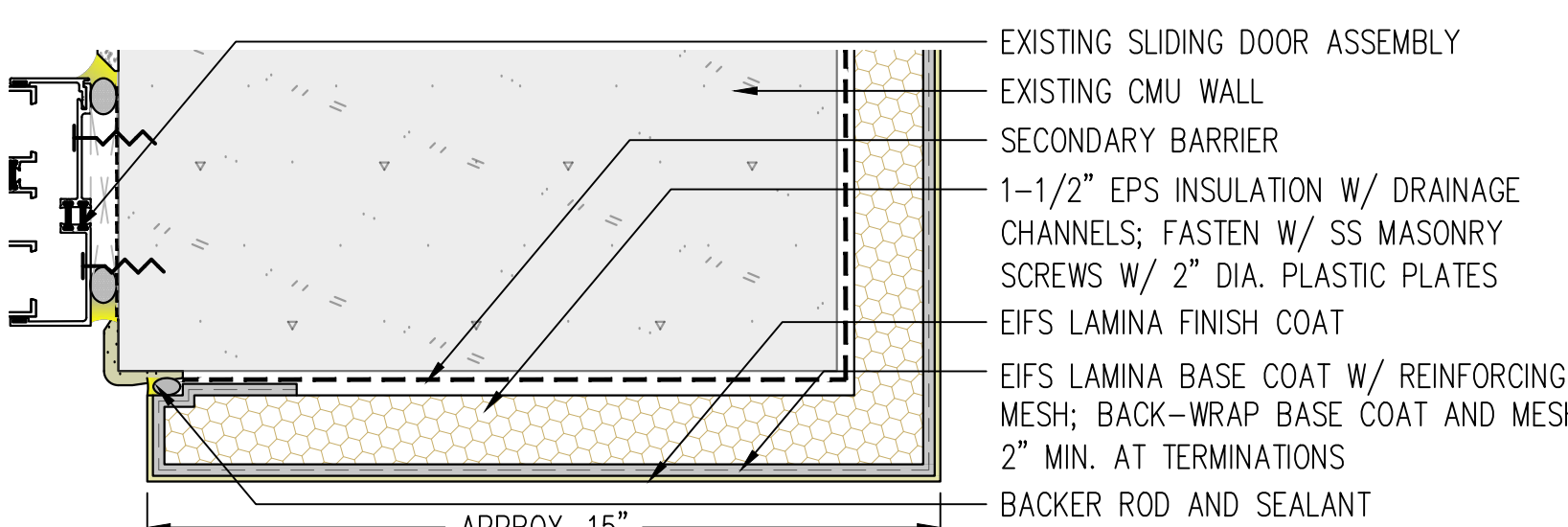
**14 EIFS BOTTOM TERMINATION DETAIL**  
A5.1 3\"/>



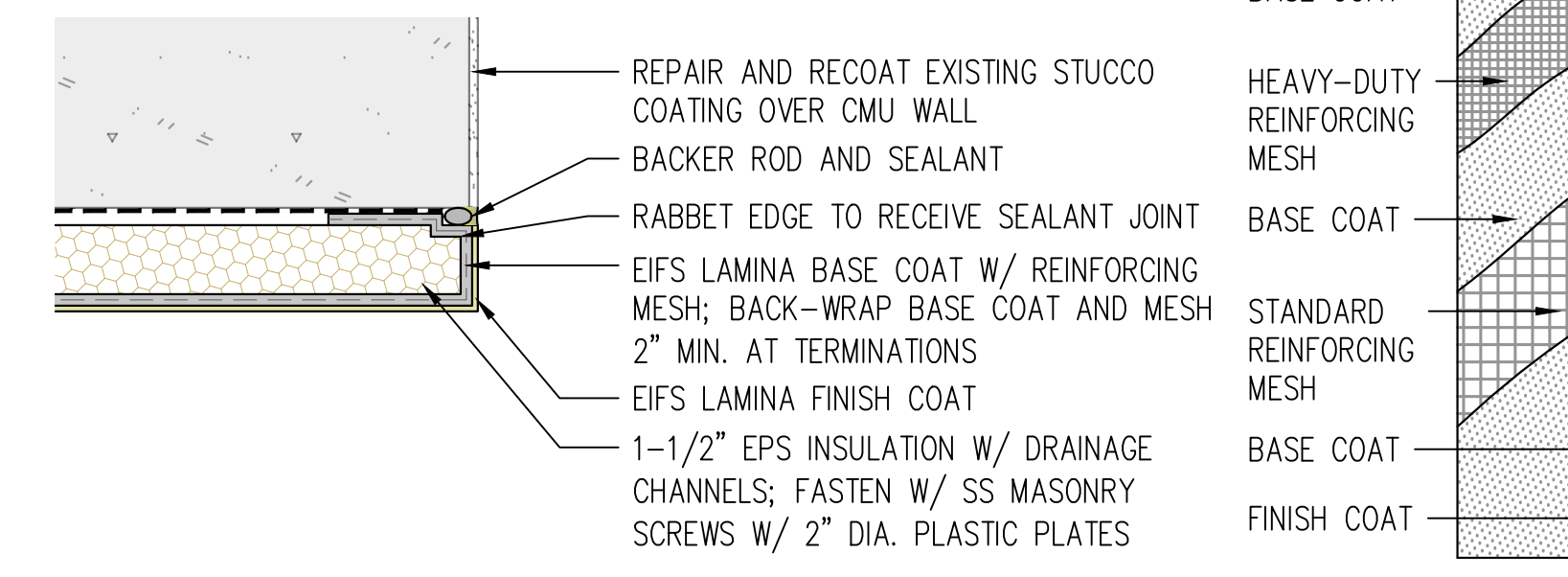
**15 EIFS EXPANSION JOINT DETAIL**  
A5.1 3\"/>



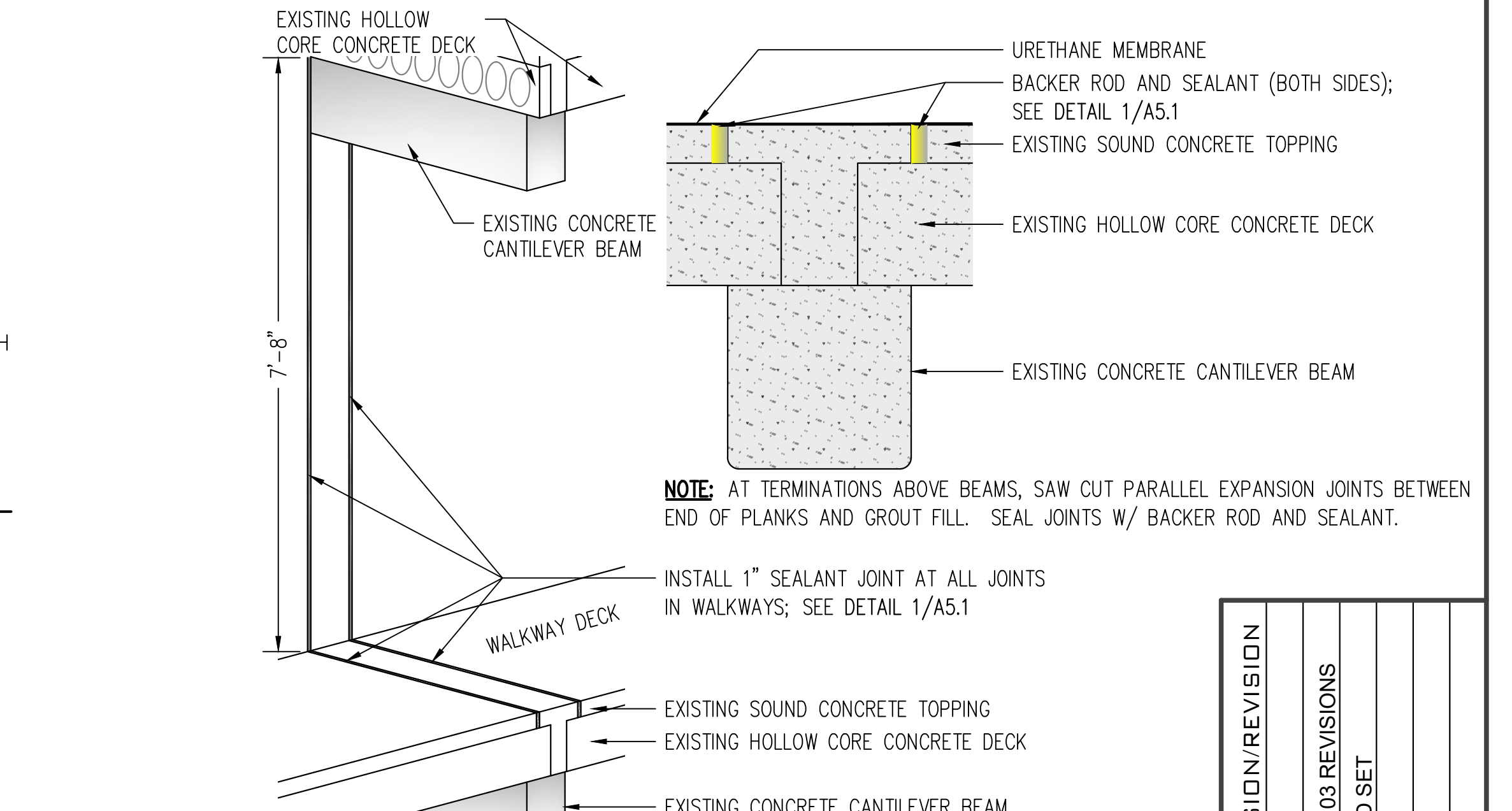
**16 EIFS TOP TERMINATION AT BALCONIES DETAIL**  
A5.1 3\"/>



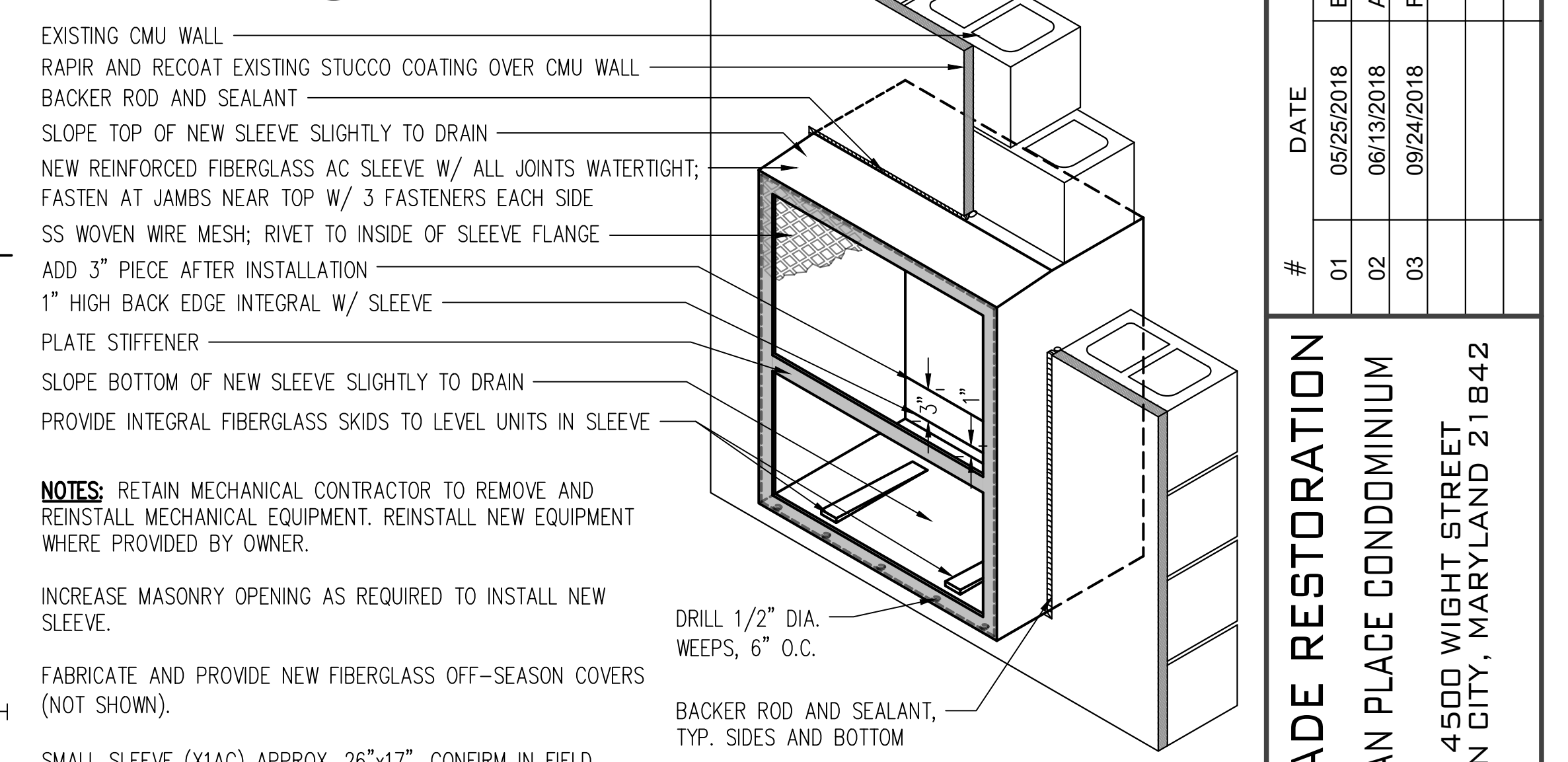
**17 EIFS SIDE TERMINATION DETAIL**  
A5.1 3\"/>



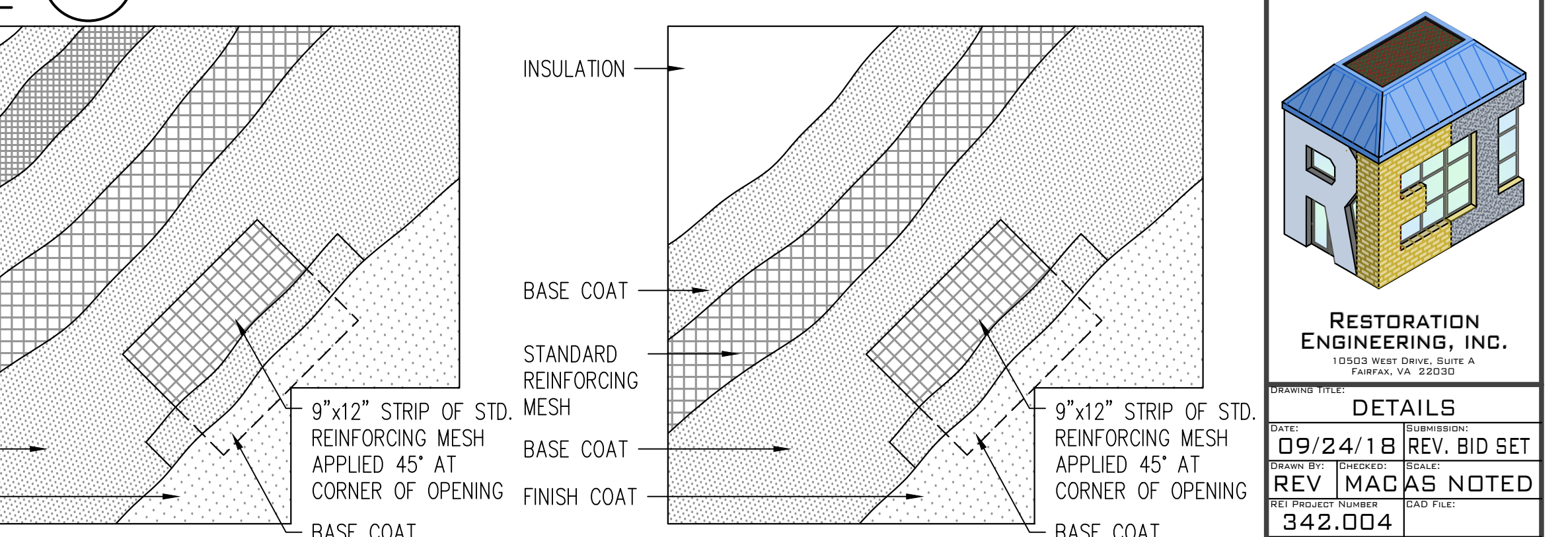
**18 EIFS SIDE TERMINATION DETAIL**  
A5.1 3\"/>



**19 DECK AND WALL SEALANT JOINT DETAIL**  
A5.1 NO SCALE



**20 AC SLEEVE AND GRILLE REPLACEMENT (X1AC, X2AC)**  
A5.1 NO SCALE

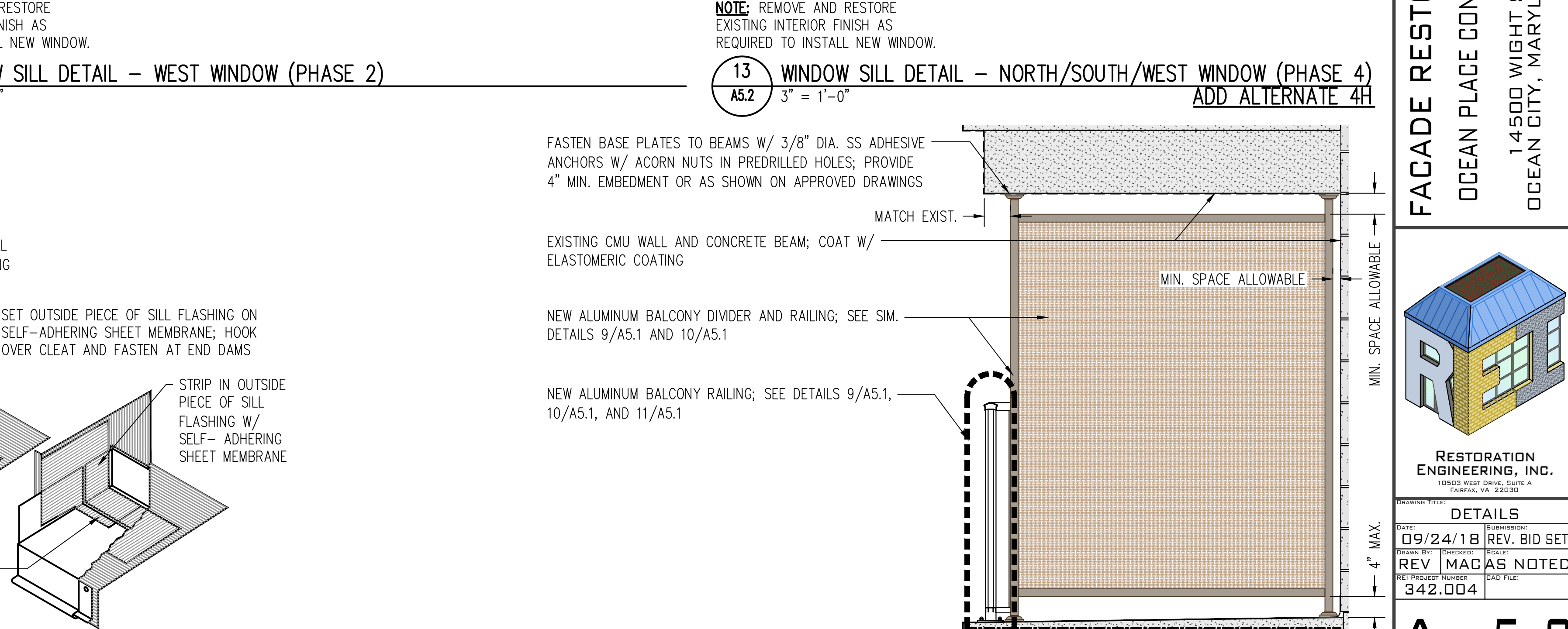
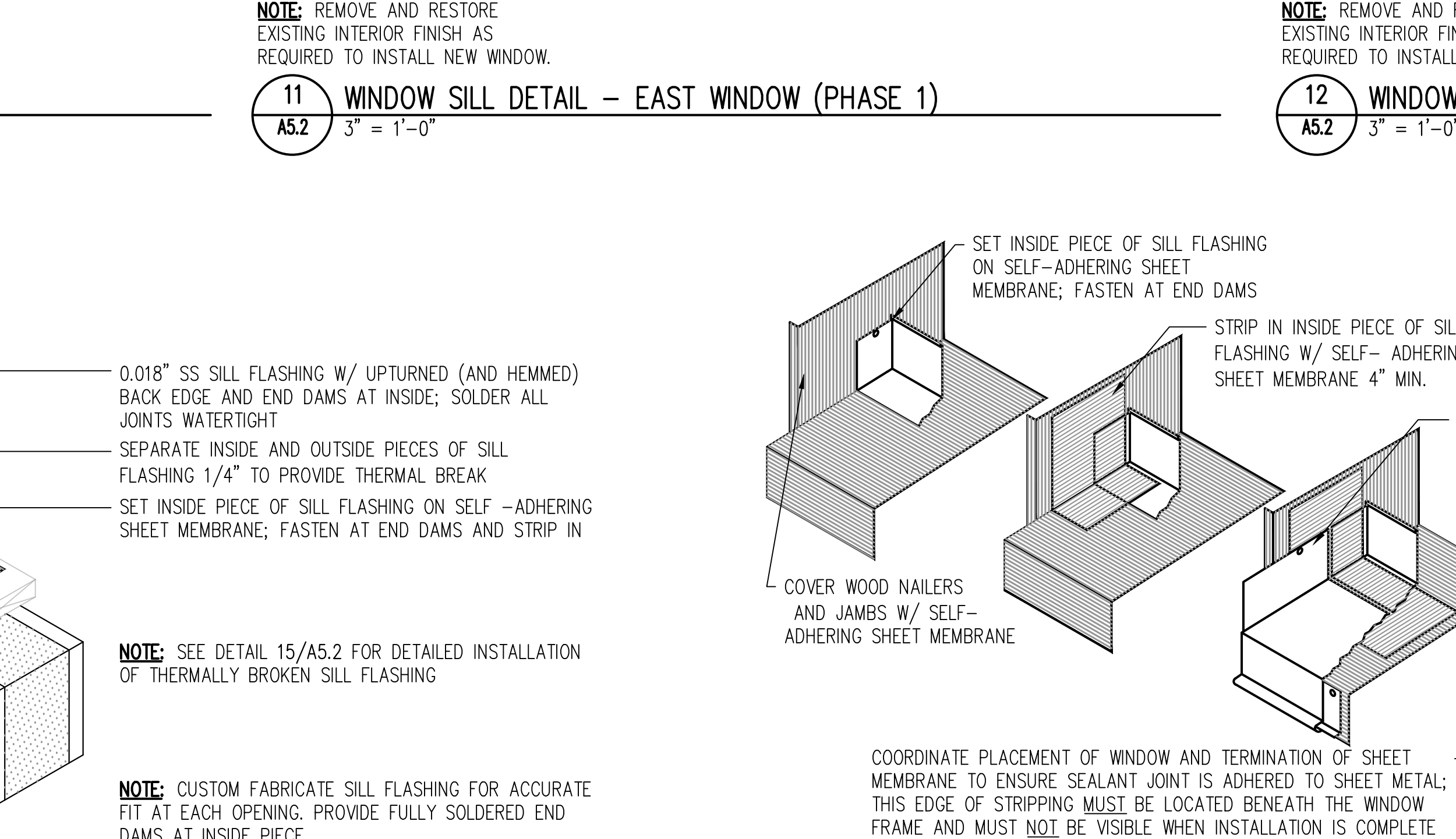
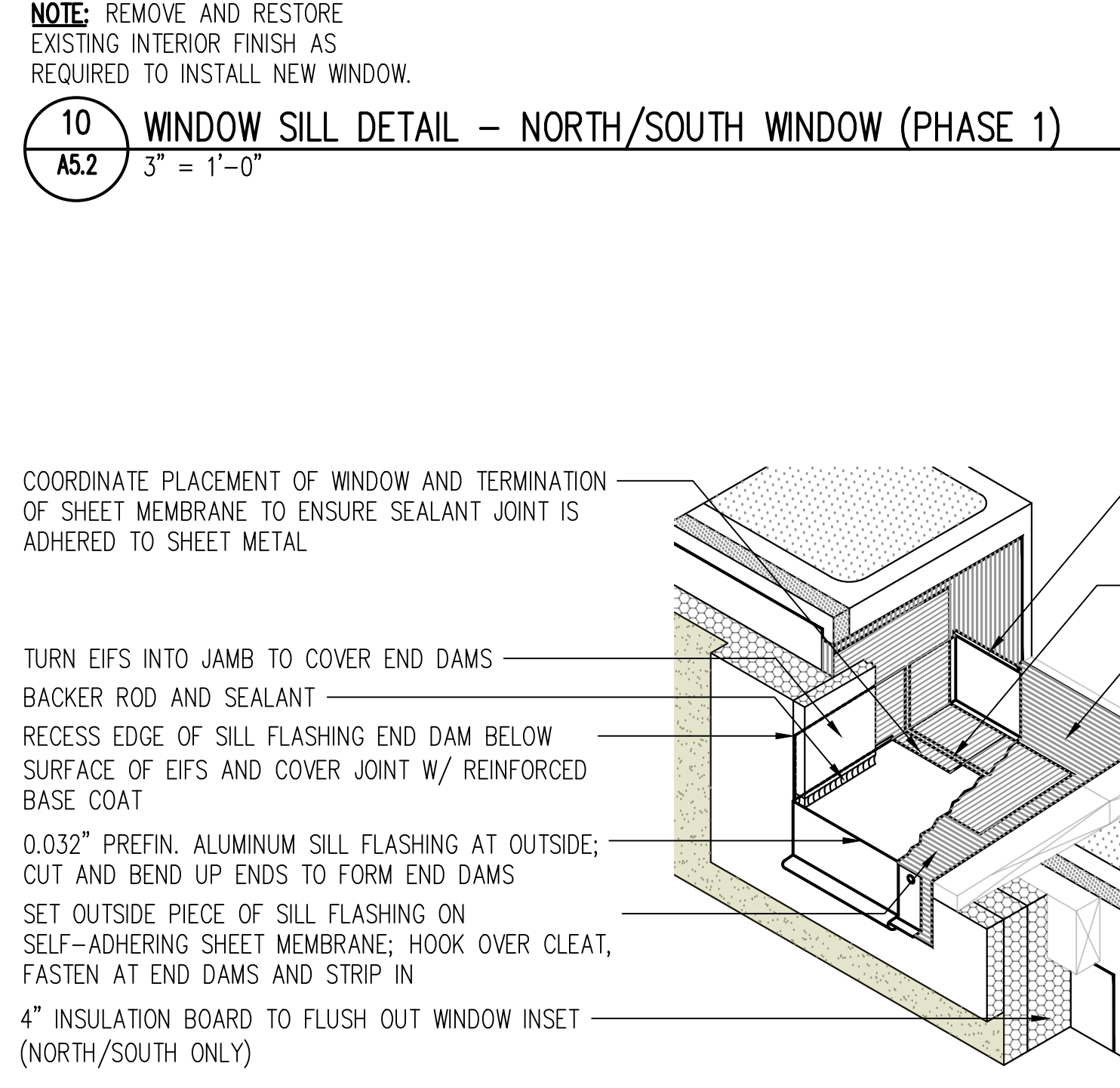
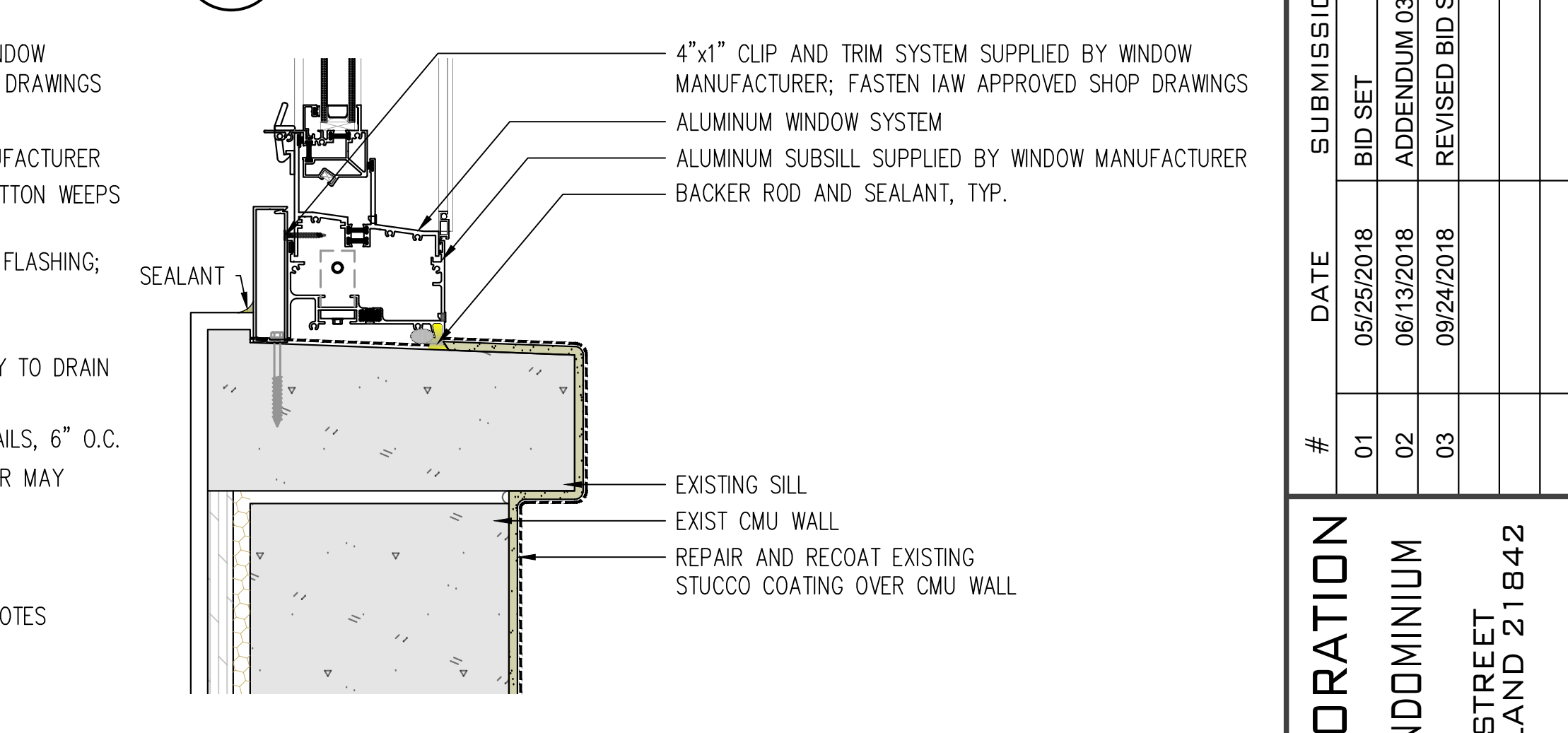
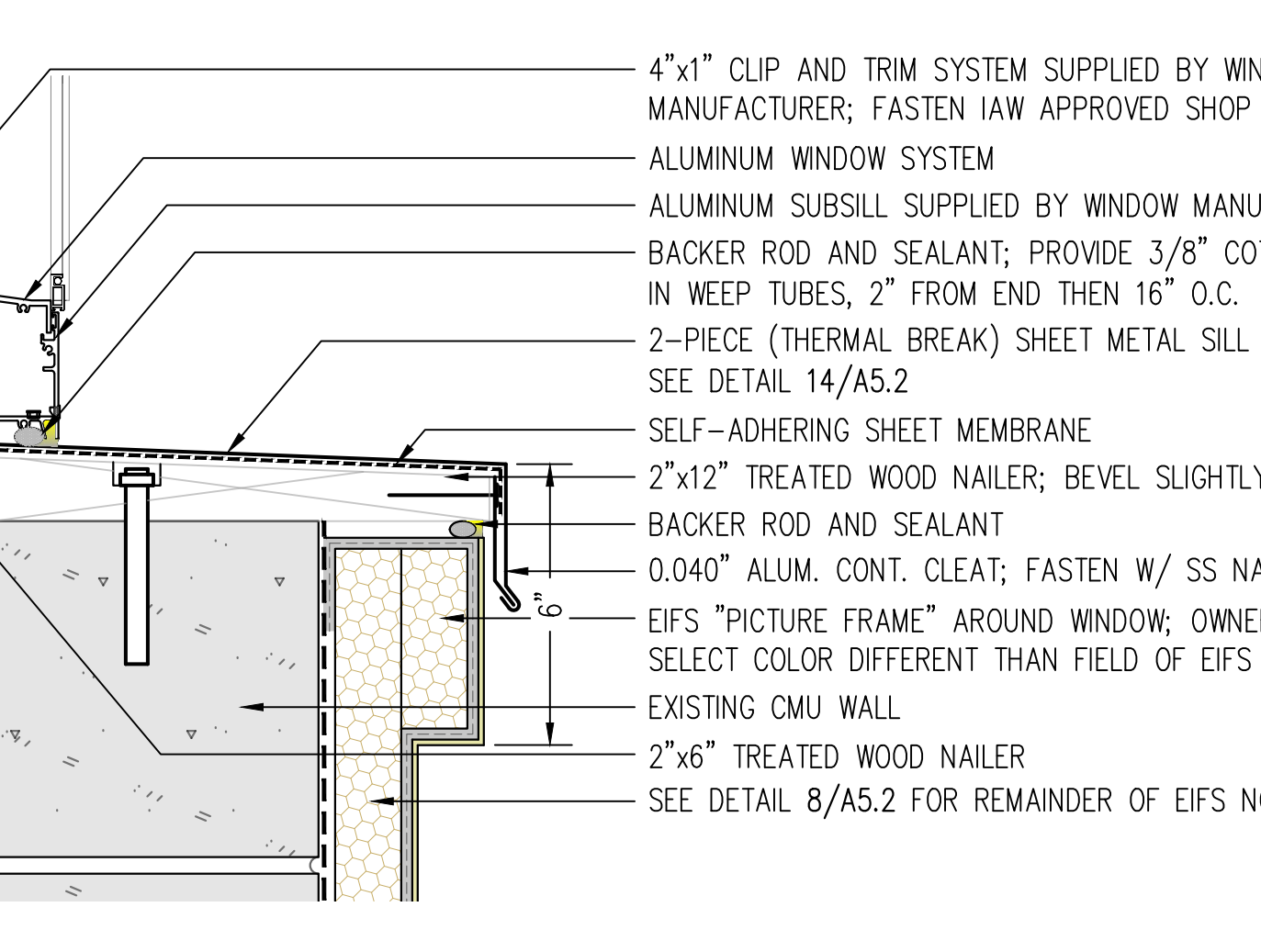
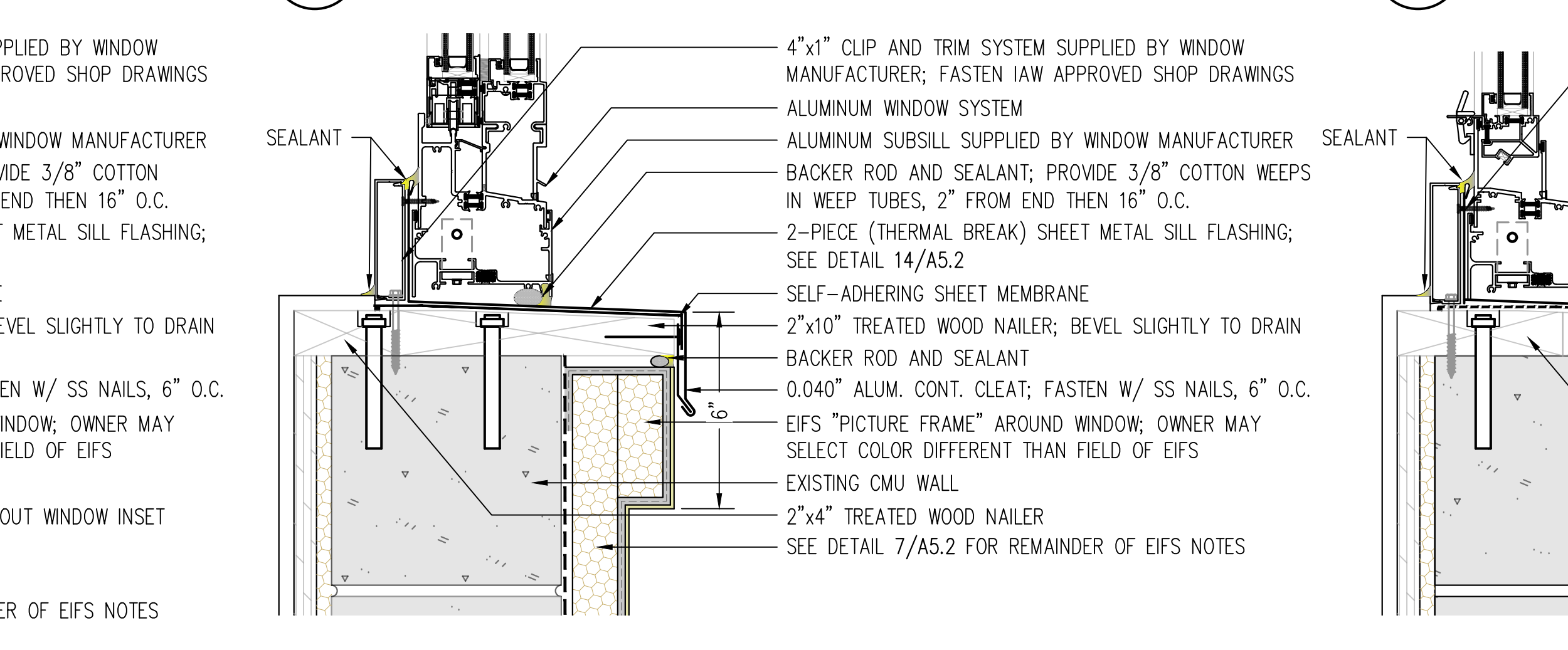
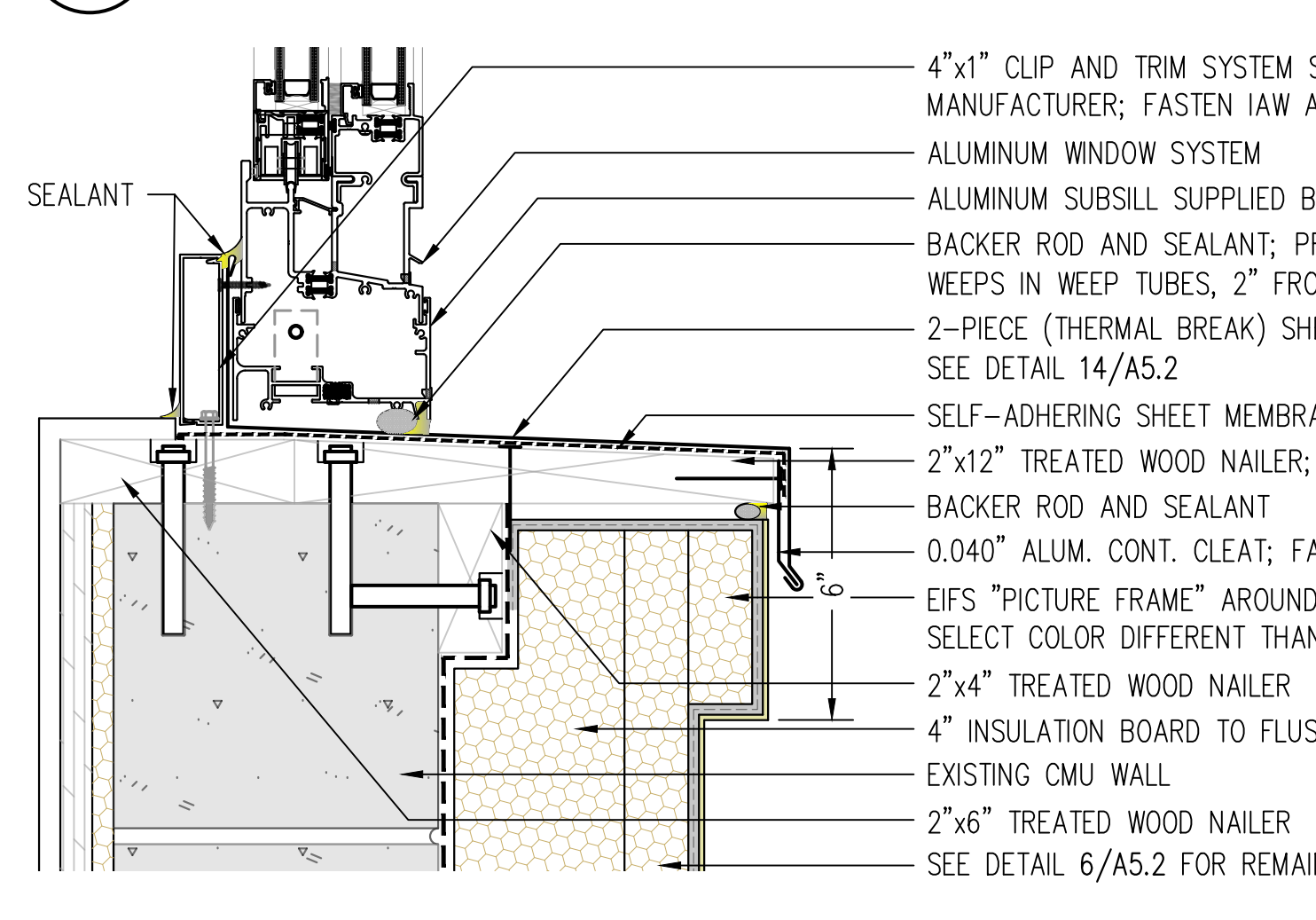
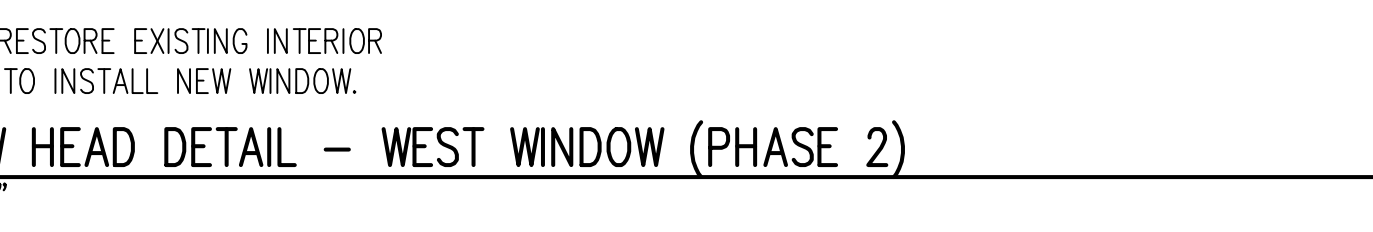
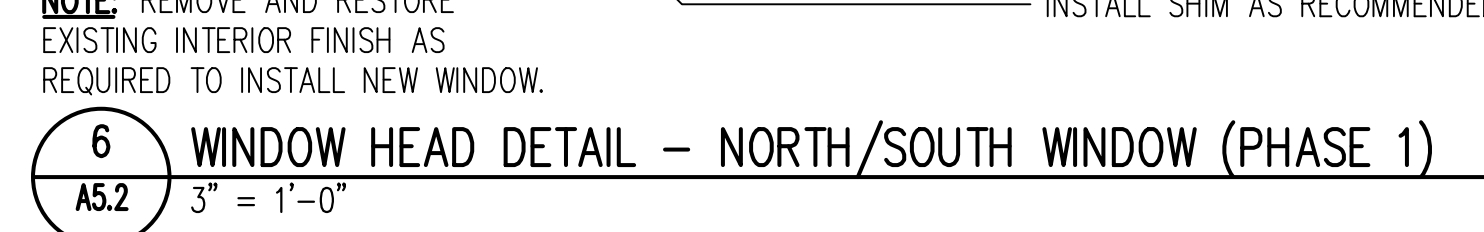
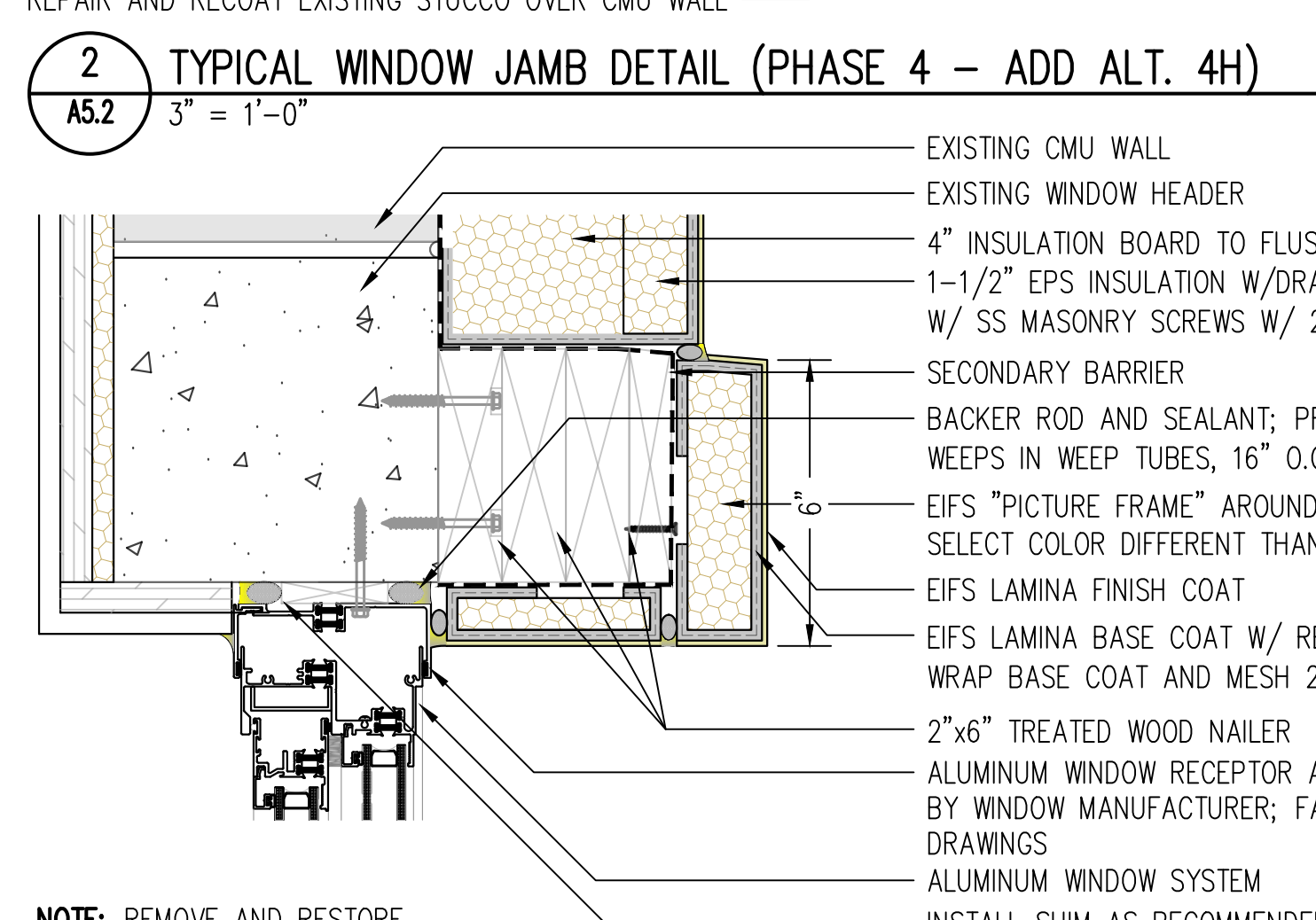
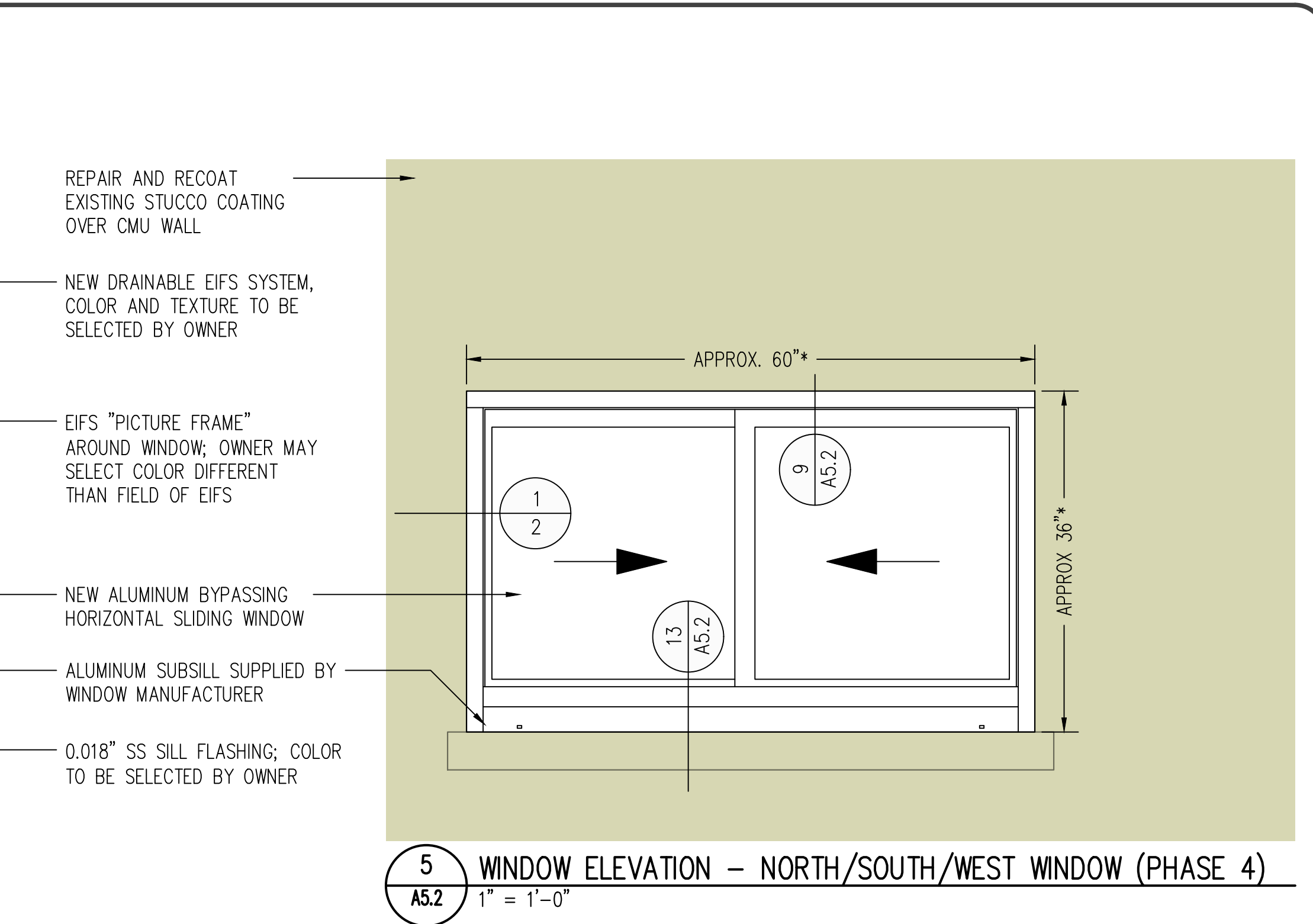
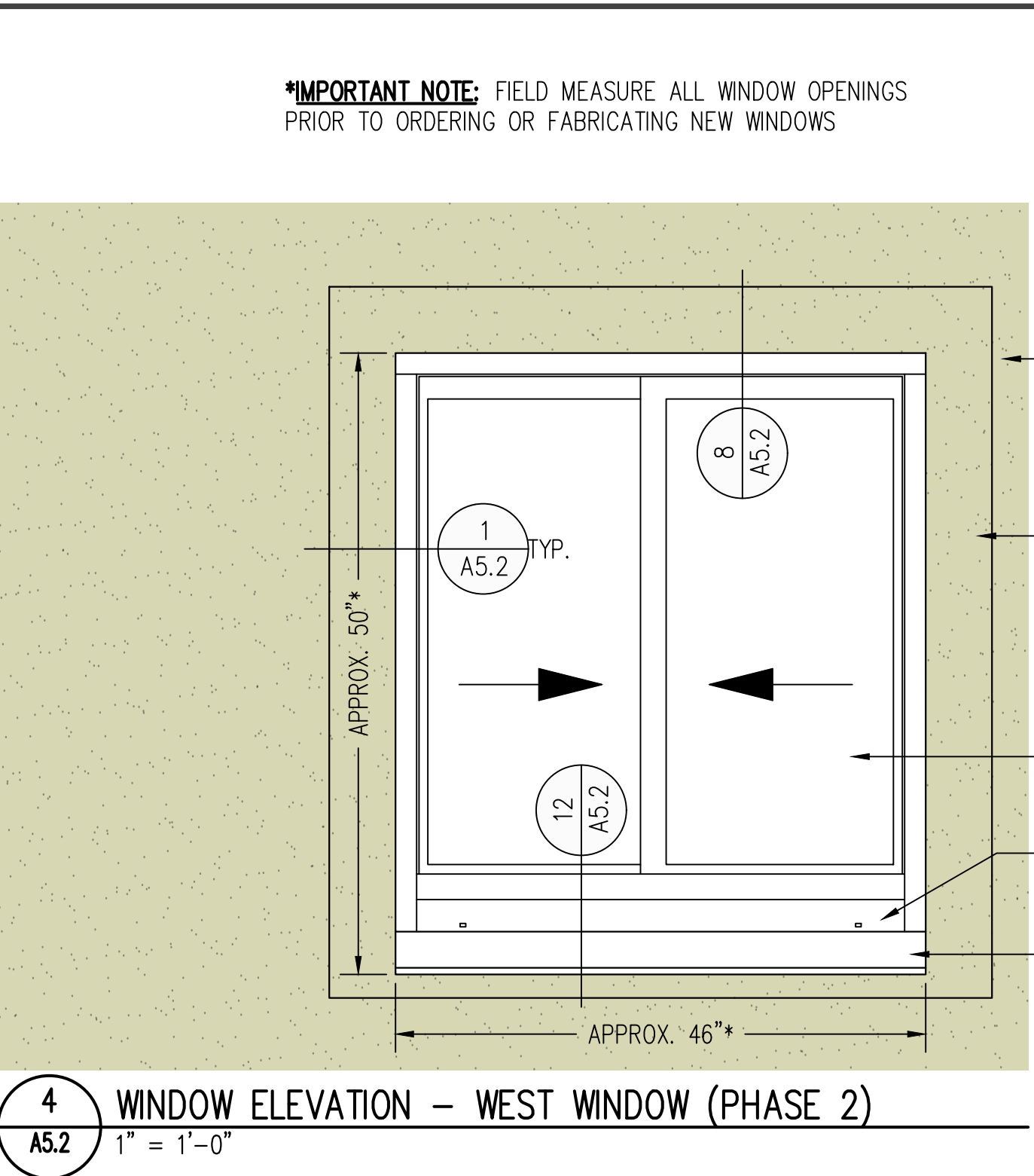
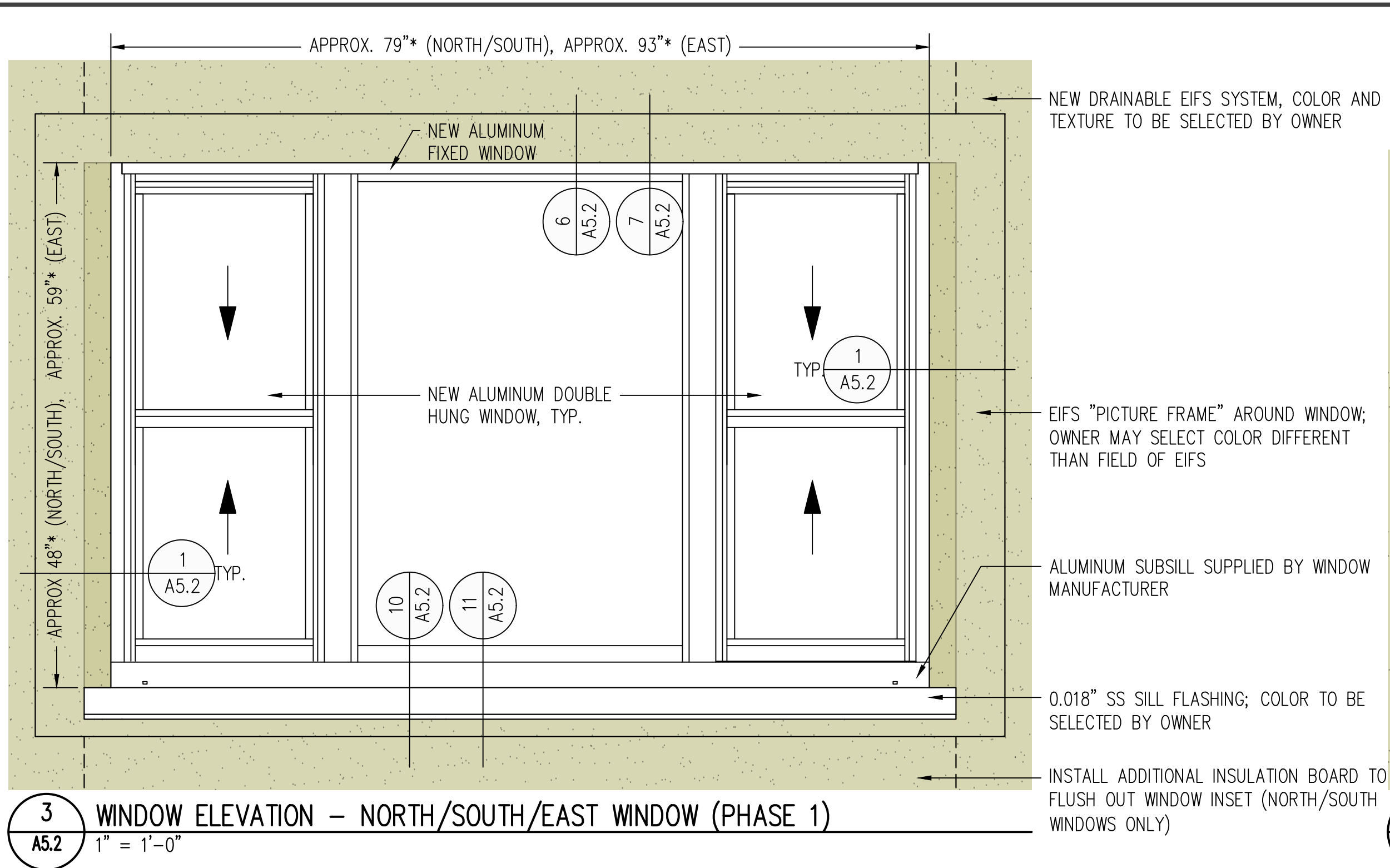
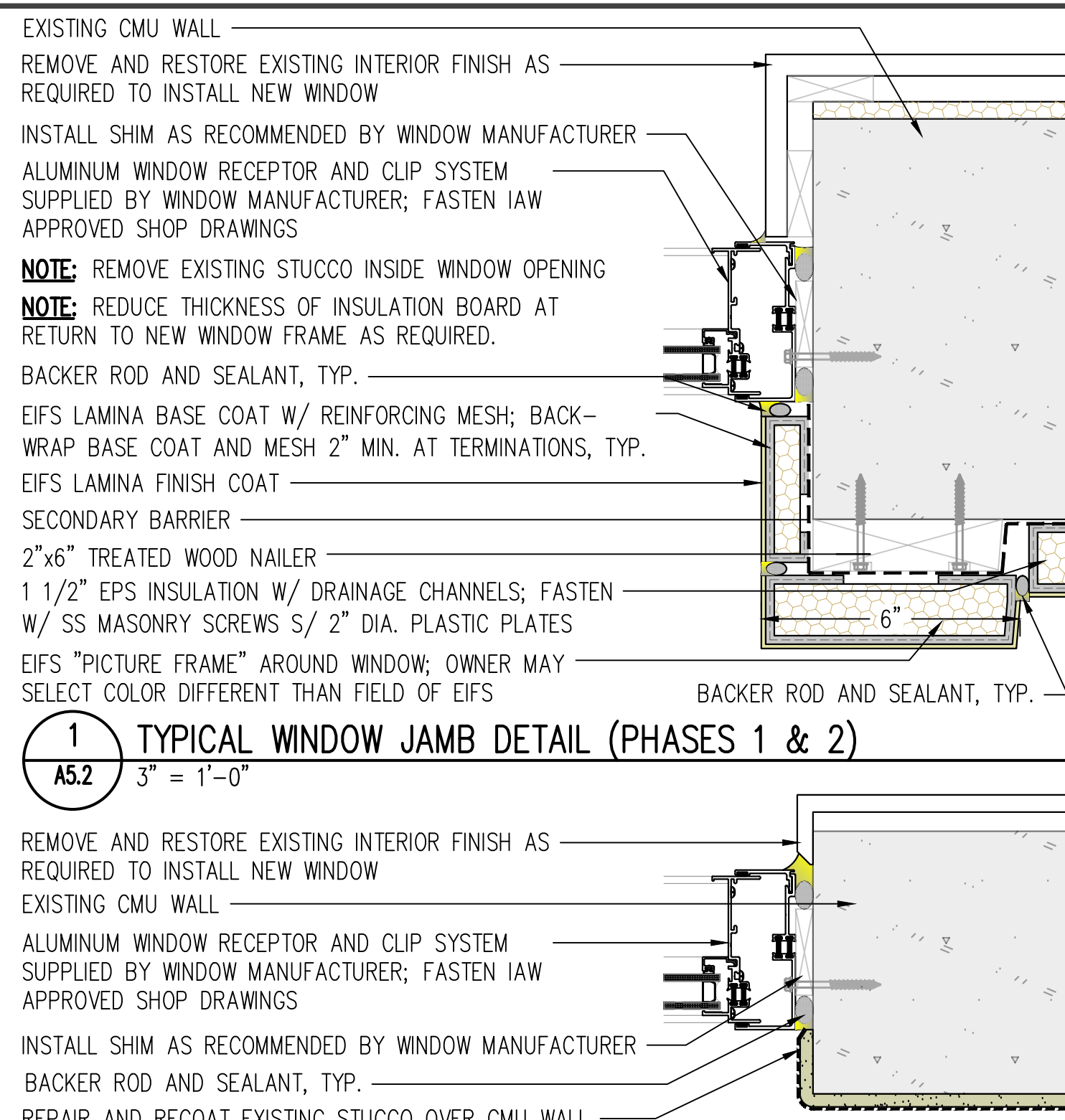


**21 EIFS REINFORCEMENT DETAILS**  
A5.1 1 1/2\"/>

#	DATE	SUBMISSION/REVISION
01	05/25/2018	BID SET
02	06/13/2018	ADDENDUM 03 REVISIONS
03	09/24/2018	REVISED BID SET

**FAÇADE RESTORATION**  
OCEAN PLACE CONDOMINIUM  
14500 WIGHT STREET  
OCEAN CITY, MARYLAND 21842

**RESTORATION ENGINEERING, INC.**  
1998 WOOD BRIDGE ROAD #4  
FARMERSVILLE, VA 22030  
**DETAILS**  
REV 09/24/18 REV. BID SET  
REV MACAS NOTED  
342.004



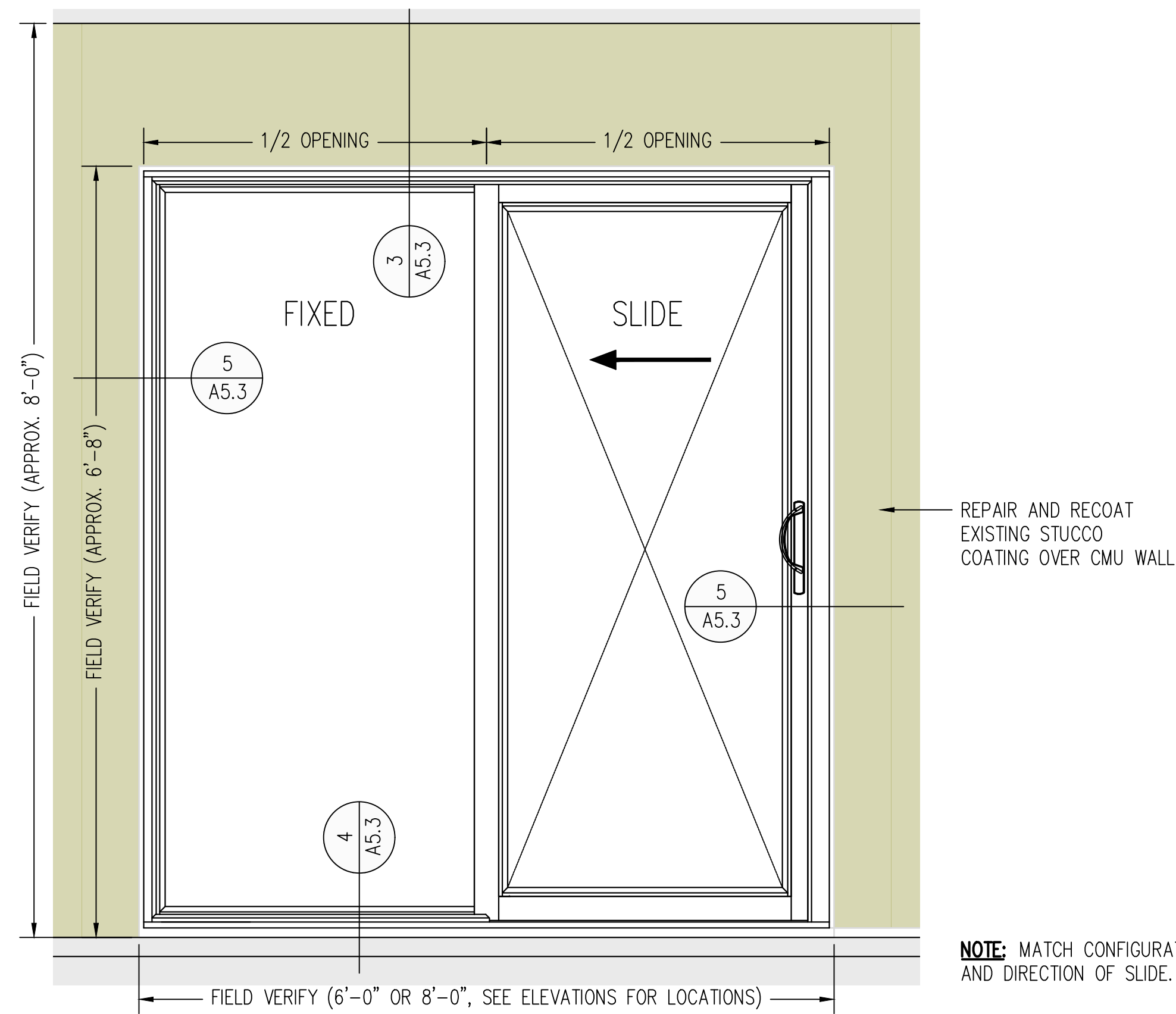
#	DATE	SUBMISSION/REVISION
01	05/25/2018	BID SET
02	06/13/2018	ADDENDUM 03 REVISIONS
03	09/24/2018	REVISED BID SET

**FACADE RESTORATION**  
OCEAN PLACE CONDOMINIUM  
14500 WIGHT STREET  
OCEAN CITY, MARYLAND 21842

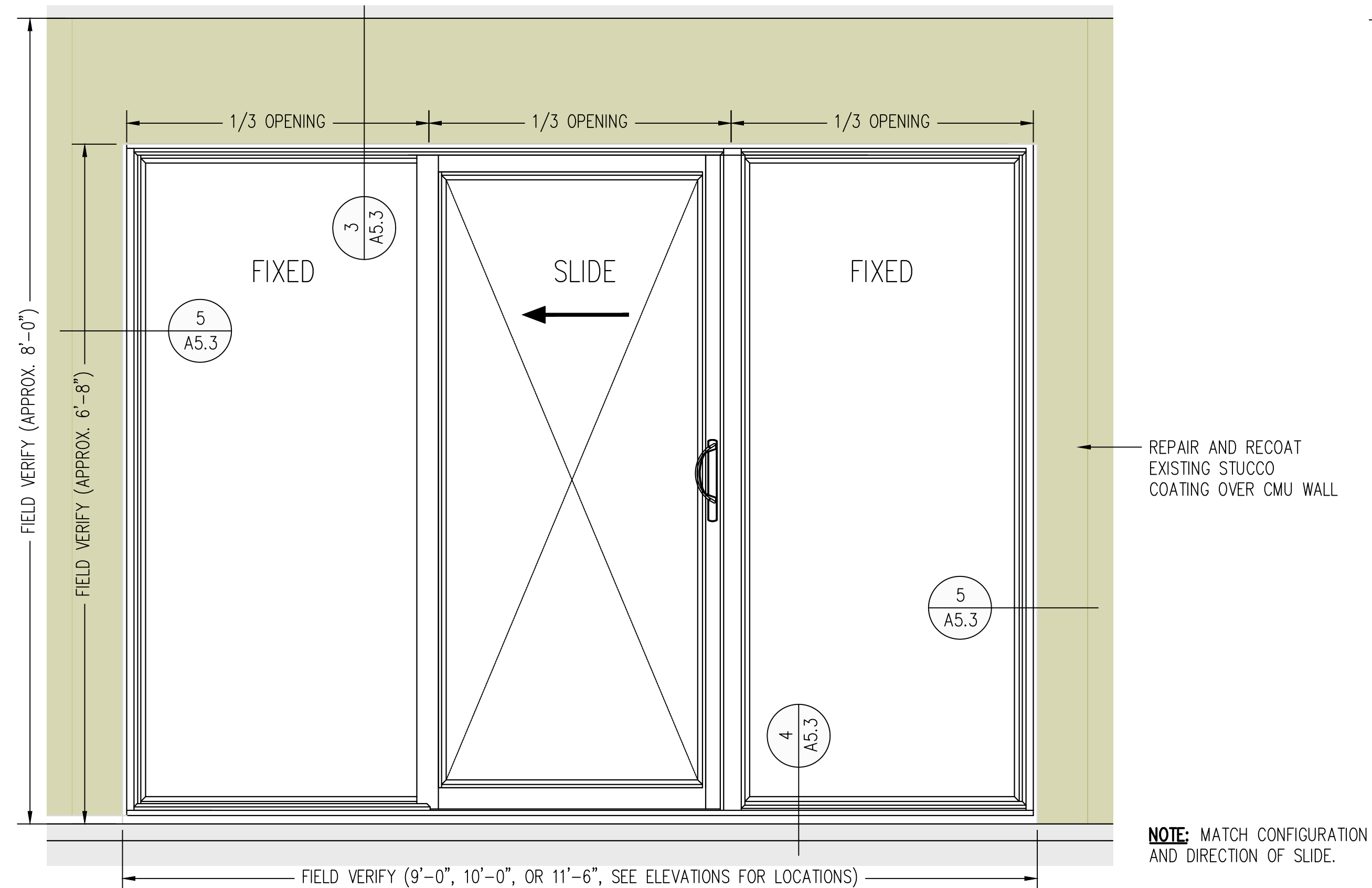
**RESTORATION ENGINEERING, INC.**  
1920 WOOD BRIDGE BLVD #4  
FARMERSVILLE, VA 22039

**DETAILS**  
09/24/18 REV. BID SET  
REV. MACAS NOTED  
342.004

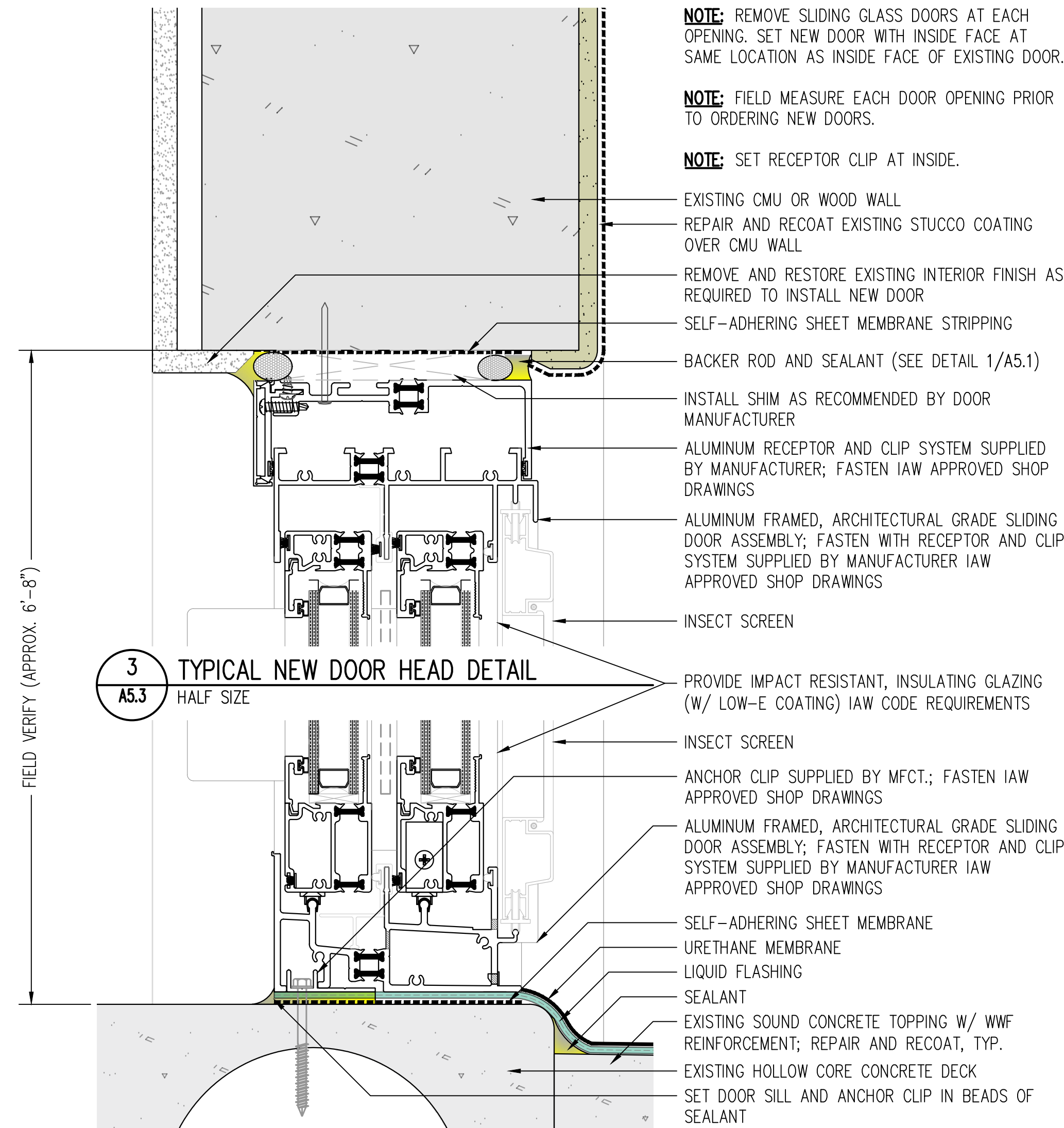




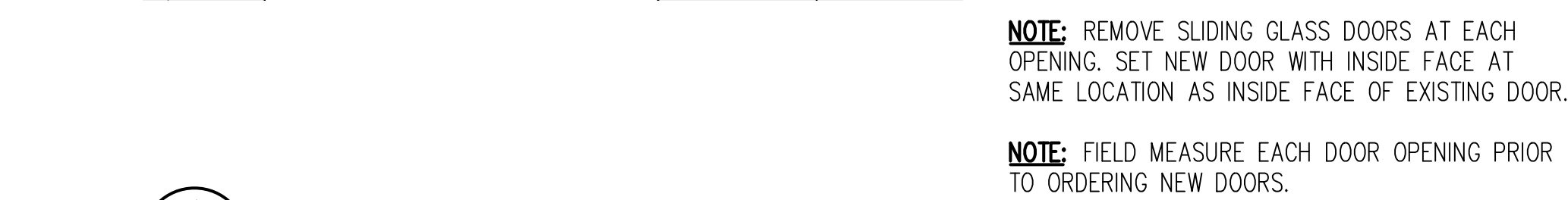
**1** PARTIAL ELEVATION – TYP. NEW SLIDING DOOR (2-PANEL) AT BALCONY (ADD ALT. 1C & 3C)  
 A5.3 1" = 1'-0"



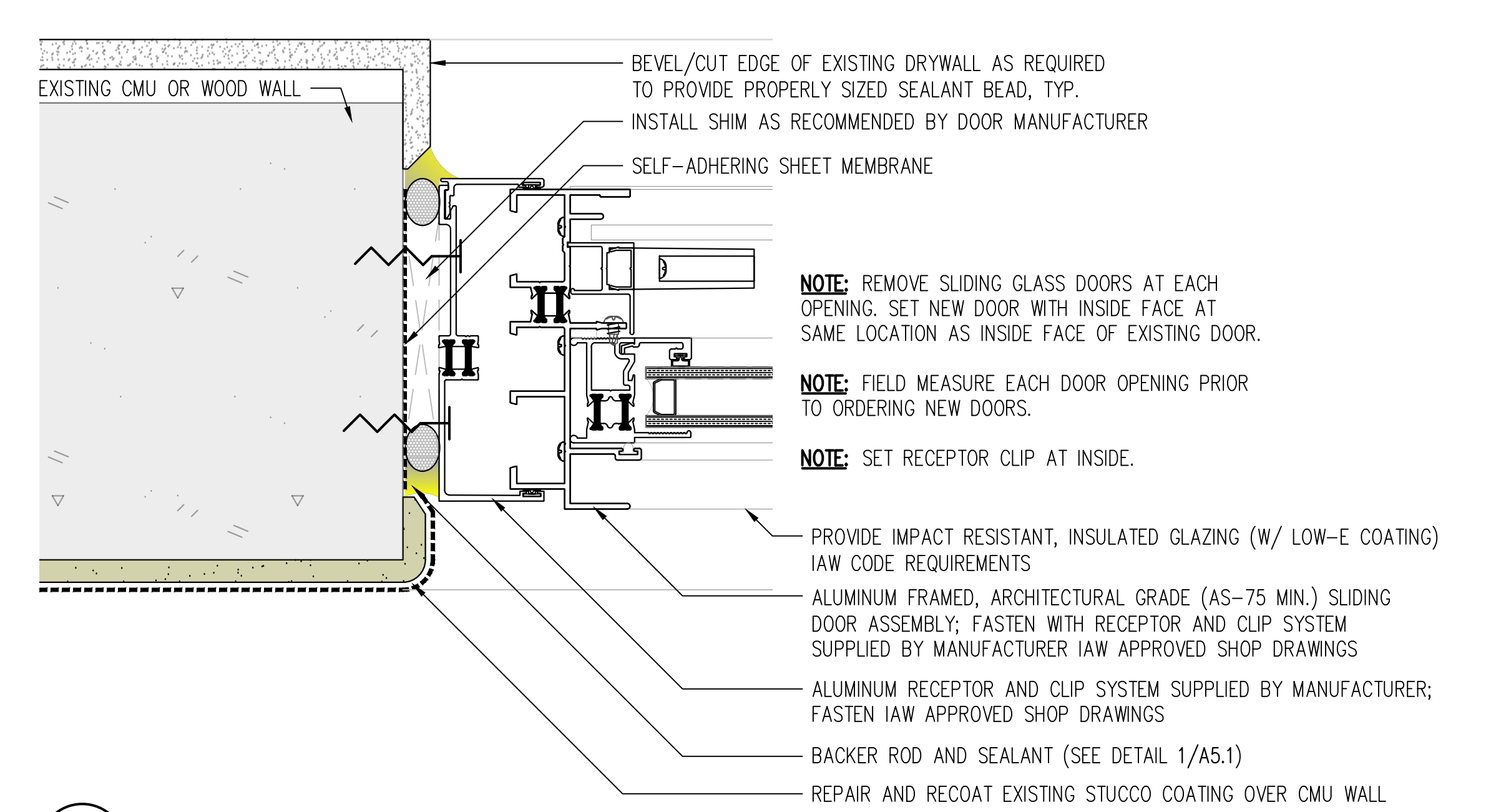
**2** PARTIAL ELEVATION – TYP. NEW SLIDING DOOR (3-PANEL) AT BALCONY (ADD ALT. 1C & 3C)  
 A5.3 1" = 1'-0"



**3** TYPICAL NEW DOOR HEAD DETAIL  
 A5.3 HALF SIZE



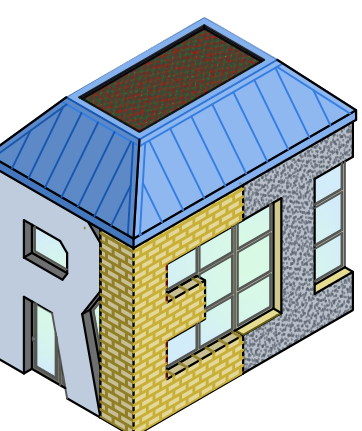
**4** TYPICAL NEW DOOR SILL DETAIL  
 A5.3 HALF SIZE



**5** TYPICAL NEW DOOR JAMB DETAIL  
 A5.3 HALF SIZE

#	DATE	SUBMISSION/REVISION
01	05/25/2018	BID SET
02	06/13/2018	ADDENDUM 03 REVISIONS
03	09/24/2018	REVISED BID SET

**FACADE RESTORATION**  
 OCEAN PLACE CONDOMINIUM  
 14500 WIGHT STREET  
 OCEAN CITY, MARYLAND 21842



**RESTORATION ENGINEERING, INC.**  
 19120 WEST GARDEN DRIVE #4  
 FARMERSVILLE, VA 22030

DATE	DESCRIPTION
09/24/18	REV. BID SET
REV. 342.004	MACAS NOTED

**A-5.3**  
 9 OF 9